

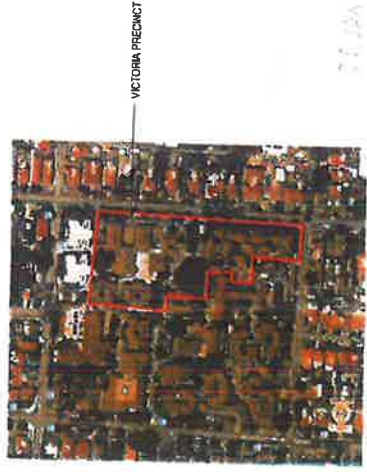
## **Attachment 1- Plans of the Proposal**

NUMBER	REVISION	NAME
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0100		OWNER

PROJECT NUMBER  
 PROJECT NAME  
 PROJECT ADDRESS  
 CLIENT  
 LOCATION PLAN



10-2015-8-1

CARDINAL FREEMAN VILLAGE VICTORIA COVER 171 Victoria Street ASHFIELD NSW		12018	1:50 D400000	D
A.J.C. 79 Jervis Street, Chippendale NSW 2008 AUSTRALIA PH (02) 9551 2211 FAX (02) 9551 2200		12018	NOT FOR CONSTRUCTION	



DA EXTENT OF SITE

4 WINTER SOLSTICE 12:00pm



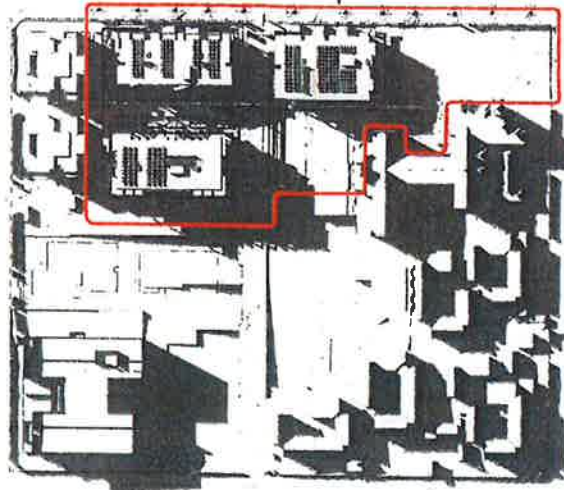
DA EXTENT OF SITE

2 WINTER SOLSTICE 10am



DA EXTENT OF SITE

3 WINTER SOLSTICE 11am



DA EXTENT OF SITE

1 WINTER SOLSTICE 8am

10 2015.8.1

Revisions	Date	By	Check



Client  
Stockland Development Division

Architect  
**AJ+C**

78 North Street, Chippendale NSW 2006 AUSTRALIA  
PH: 02 9550 4611 FAX: 02 9550 4600  
A/N: 53 003 782 250

Project  
ORIGINAL FREEMAN VILLAGE  
VICTORIA PRECINCT  
137 Macaulay Street  
ADELPHIDE NSW  
12018

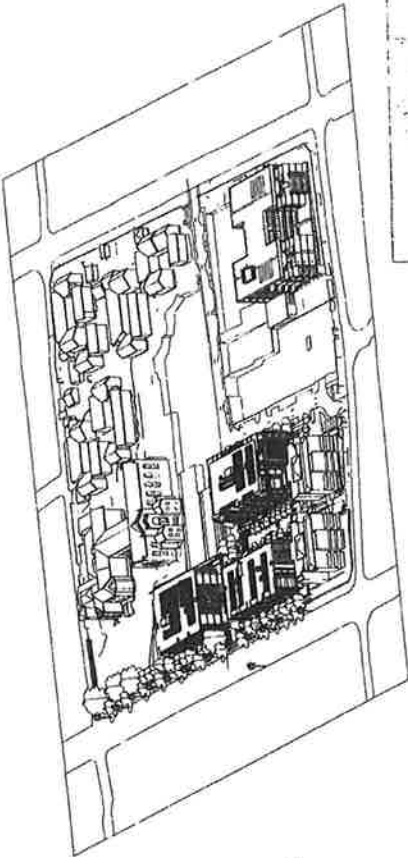
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SHADOW STUDIES

Scale  
1:1000  
Drawing No  
@A1 DA0201  
Issue  
D

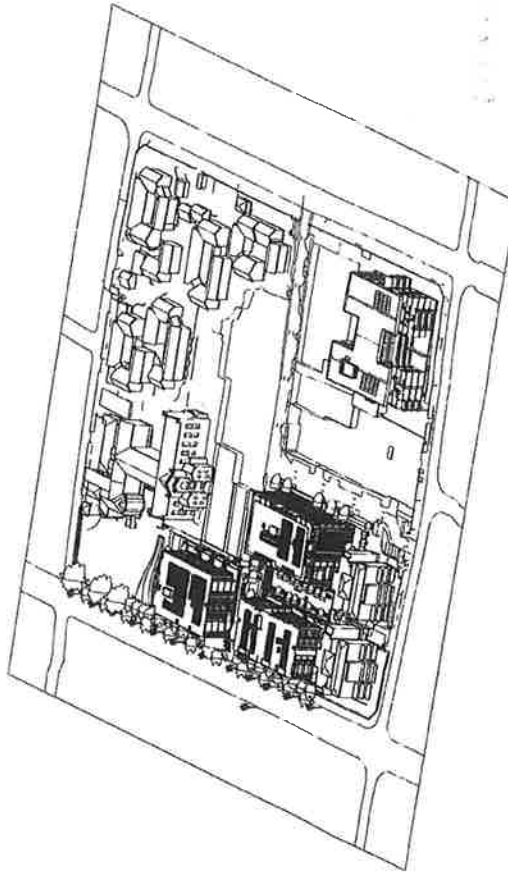
NOT FOR CONSTRUCTION



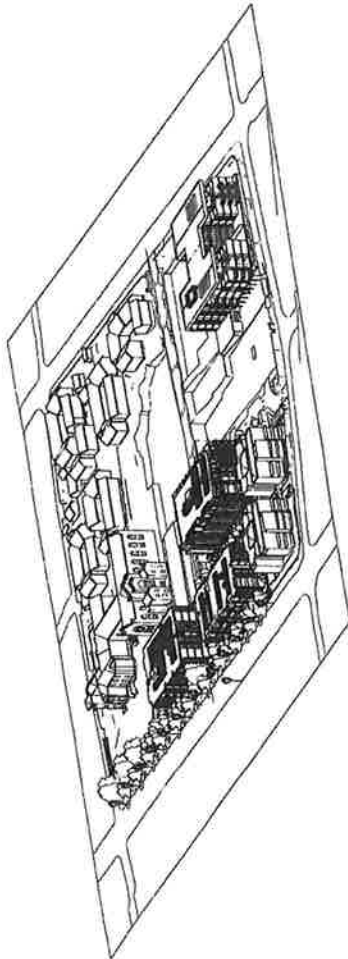




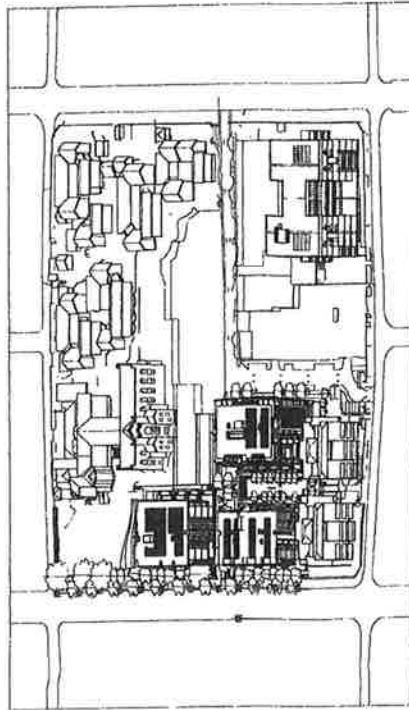
2 SUNS EYE VIEW 10:00AM WINTER



4 SUNS EYE VIEW 12:00PM WINTER



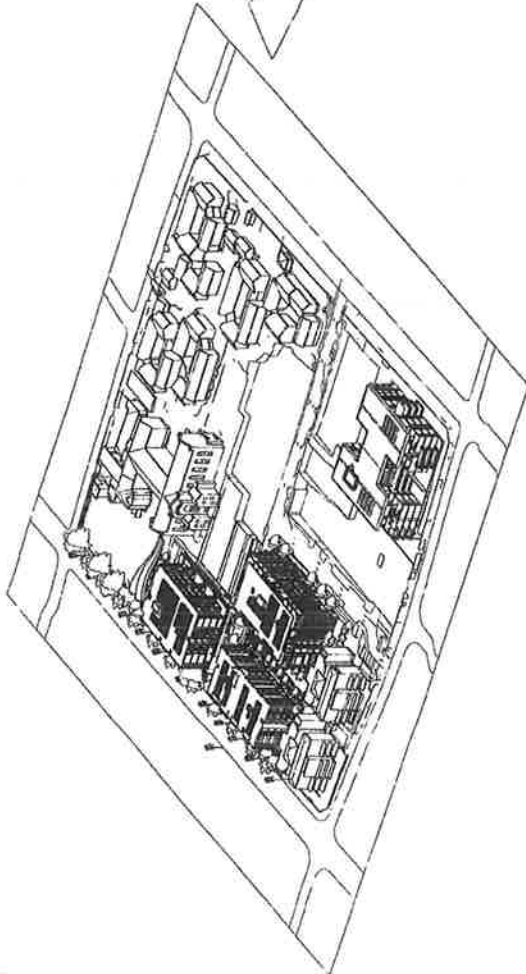
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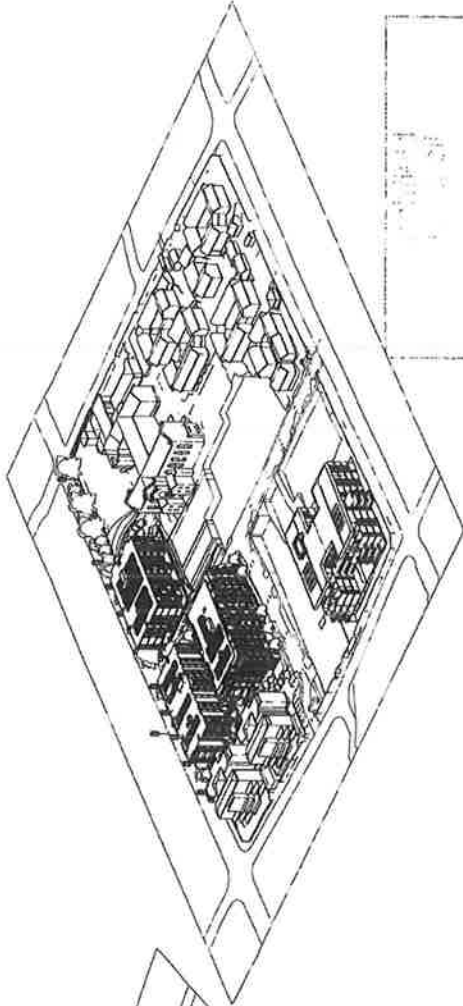
3 SUNS EYE VIEW 11:00AM WINTER

10.2015.8-1

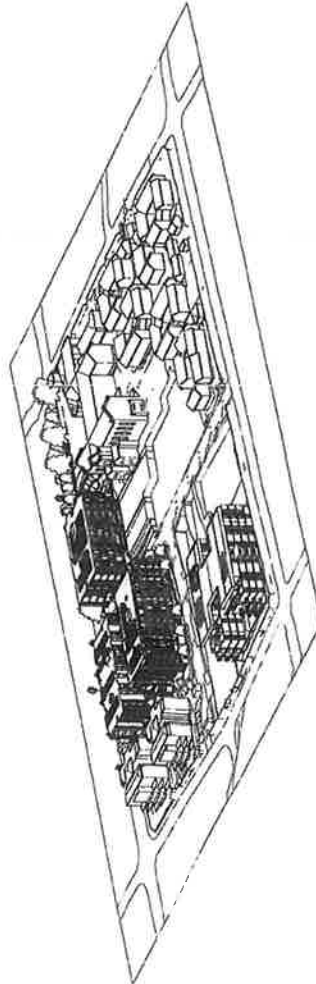
<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 171 Mowbray Street AUSPITAL NSW 12018</p>		<p>Client: Stockland Development Division</p>	<p>Architect: AJ+C 37 Jervis Street, Sydney NSW 2009 AUSTRALIA Phone: +61 2 9211 6000 Fax: +61 2 9211 6001</p>	<p>Drawings No: DA0203</p>	<p>Scale: 1:500</p>	<p>Page: D</p>
<p>Drawn By: SOLAR STUDIES</p>		<p>NOT FOR CONSTRUCTION</p>				



1 SUNS EYE VIEW 1.00PM WINTER



2 SUNS EYE VIEW 2.00PM WINTER



3 SUNS EYE VIEW 3.00PM WINTER

10.2015.8.1

Item	Description	Quantity	Unit	Rate	Total
1	Site Preparation	1	Lot	10000	10000
2	Foundation	1	Lot	20000	20000
3	Structure	1	Lot	30000	30000
4	Roofing	1	Lot	15000	15000
5	Cladding	1	Lot	10000	10000
6	Interior Finishes	1	Lot	25000	25000
7	Landscaping	1	Lot	5000	5000
8	Services	1	Lot	10000	10000
9	Permits	1	Lot	2000	2000
10	Professional Fees	1	Lot	10000	10000
11	Marketing	1	Lot	5000	5000
12	Other	1	Lot	1000	1000
<b>Total</b>					<b>143000</b>

Item	Description	Quantity	Unit	Rate	Total
1	Site Preparation	1	Lot	10000	10000
2	Foundation	1	Lot	20000	20000
3	Structure	1	Lot	30000	30000
4	Roofing	1	Lot	15000	15000
5	Cladding	1	Lot	10000	10000
6	Interior Finishes	1	Lot	25000	25000
7	Landscaping	1	Lot	5000	5000
8	Services	1	Lot	10000	10000
9	Permits	1	Lot	2000	2000
10	Professional Fees	1	Lot	10000	10000
11	Marketing	1	Lot	5000	5000
12	Other	1	Lot	1000	1000
<b>Total</b>					<b>143000</b>

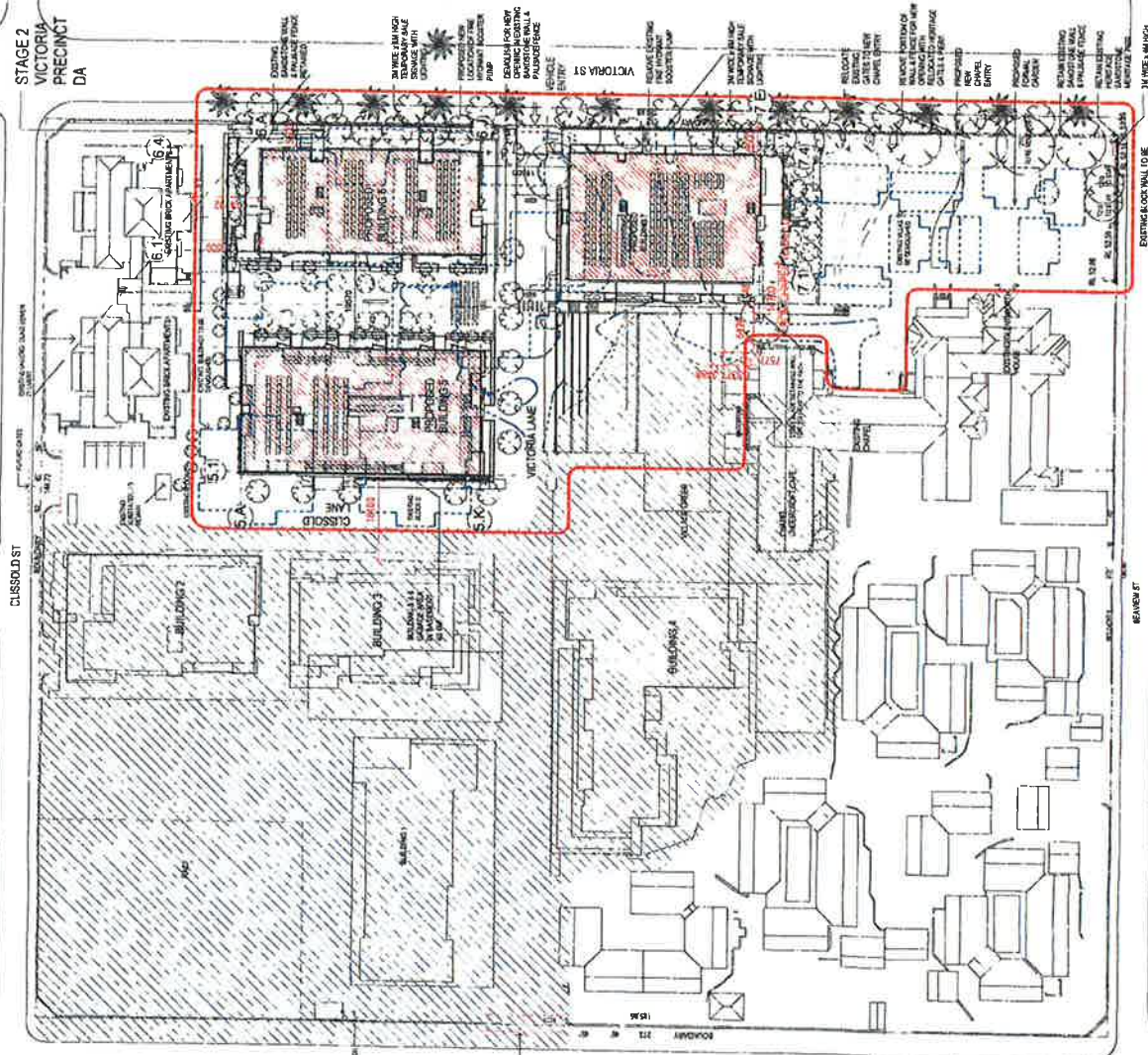
<p>Project Name: CASUAL FREEMAN VILLAGE VICTORIA PRECINCT</p> <p>131 Victoria Street, ADAMFIELD NSW 1500</p> <p>12018</p>		<p>Client: Stockland Development Division</p>	<p>Architect: AJ+C</p> <p>78 Myrtle Street, Chippendale NSW 2008 AUSTRALIA</p> <p>PH: 02 9551 1822 FAX: 02 9551 1823</p>	<p>Drawing Title: SOLAR STUDIES</p>	<p>Scale: @A1 DA0204</p>	<p>Sheet: D</p>
<p>NOT FOR CONSTRUCTION</p>						

**STAGE 2  
VICTORIA  
PRECINCT  
DA**

CLASSOLD ST

QUEEN ST

BEAUFORT ST



- DEMOLISH EXISTING BLOCK CD & EXISTING LODGE
- DEMOLISH EXISTING VILLAS
- DEMOLISH PATHS & ACCESS ROADS
- NB/ THE ABOVE WORKS ARE NOT IN SEQUENTIAL ORDER

PROPOSED BUILDINGS IN STAGE 2

PREVIOUS DA STAGE 1

ADJOINING OCCUPIED PROPERTIES

EXISTING BUILDINGS TO BE DEMOLISHED

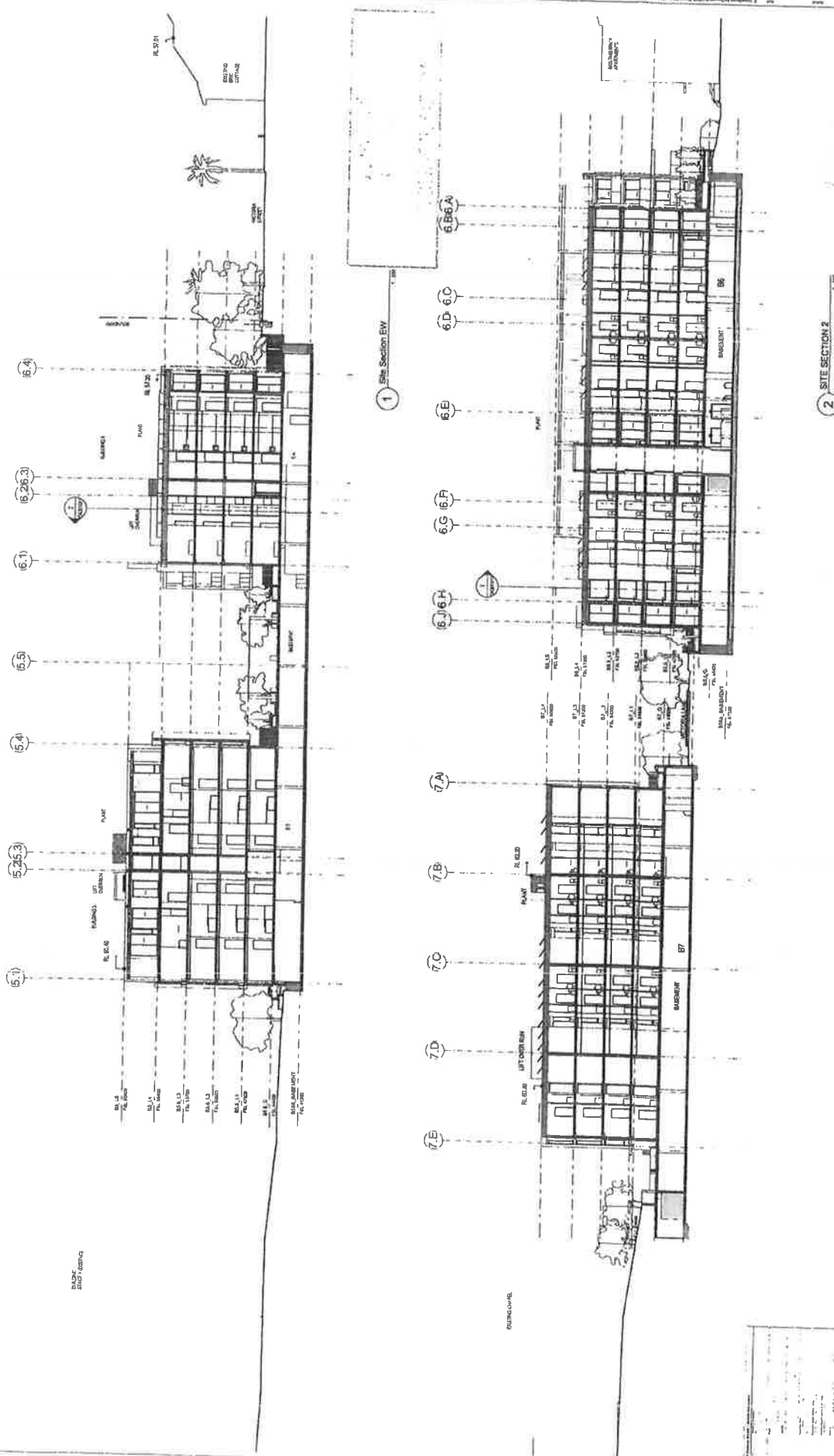
EXISTING TREES (REFER LANDSCAPE PLAN FOR TREES TO BE REMOVED)

10 2015 8

NO.	REVISION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR TENDERS	10/08/2015	...	...	...
2	REVISED PER COMMENTS	10/08/2015	...	...	...
3	REVISED PER COMMENTS	10/08/2015	...	...	...
4	REVISED PER COMMENTS	10/08/2015	...	...	...
5	REVISED PER COMMENTS	10/08/2015	...	...	...
6	REVISED PER COMMENTS	10/08/2015	...	...	...
7	REVISED PER COMMENTS	10/08/2015	...	...	...
8	REVISED PER COMMENTS	10/08/2015	...	...	...
9	REVISED PER COMMENTS	10/08/2015	...	...	...
10	REVISED PER COMMENTS	10/08/2015	...	...	...

<p><b>Stockland Development Division</b></p> <p>Project: <b>CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</b></p> <p>17A Macquarie Street, Sydney NSW 2000 AUSTRALIA          Tel: +61 2 9111 2222 Fax: +61 2 9111 2221          A/N 52 525 762 260</p>		<p>Client: <b>AJ+C</b></p> <p>17A Macquarie Street, Sydney NSW 2000 AUSTRALIA          Tel: +61 2 9111 2222 Fax: +61 2 9111 2221          A/N 52 525 762 260</p>	<p>Scale: <b>1:500 @A1</b></p> <p>Drawing No: <b>DA301000</b></p>	<p>Site Plan Stage 2 / DEMOLITION</p>	<p>12018</p>
<p>NOT FOR CONSTRUCTION</p>					





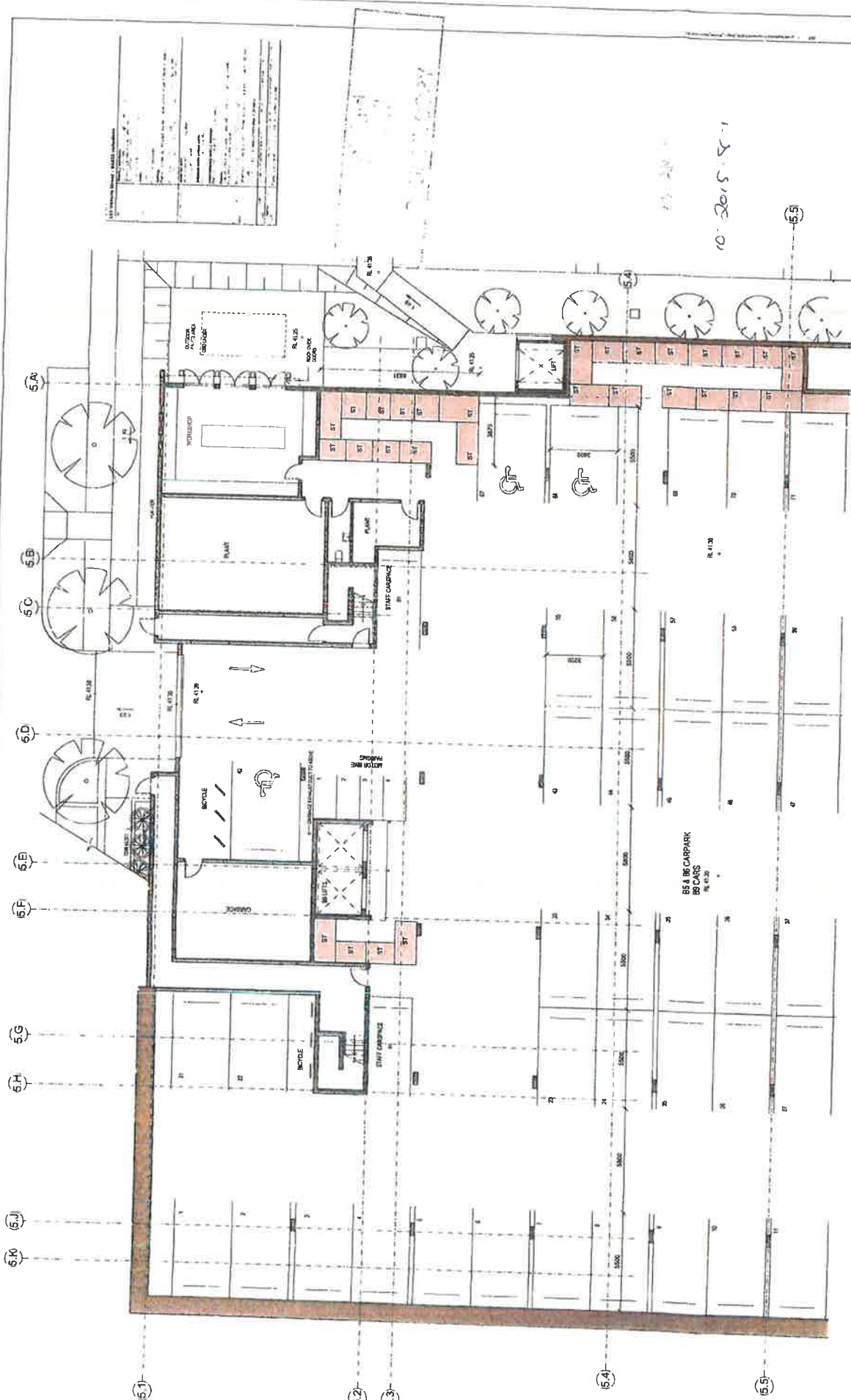
10.2015.8.

<p>Stockland Development Division</p>	<p><b>AJ+C</b></p> <p>170 Marica Street, Chippendale NSW 2008 AUSTRALIA          PH (02) 9550 1234 FAX (02) 9550 1235          EMAIL: info@aj+c.com.au WEBSITE: www.aj+c.com.au</p>	<p>Project: CARDINAL FREEMAN VILLAGE          VICTORIA PRECINCT</p>	<p>Scale: 1:200 @A1</p>	<p>Drawing No: DA301011</p>	<p>1:1000</p>
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<p>Scale 1:200 @ A1</p>	<p>Drawing No. DA303101</p>	<p>Client STOCKLAND DEVELOPMENT DIVISION</p>	<p>Project GLENTWORTH FREEMAN VILLAGE VICTORIA PRECINCT</p>	<p>Address 127 Victoria Street Melbourne VIC 3000</p>	<p>Phone 03 933 782 350</p>	<p>12018</p>	<p>NOT FOR CONSTRUCTION</p>	<p>10 2015 8.1</p>
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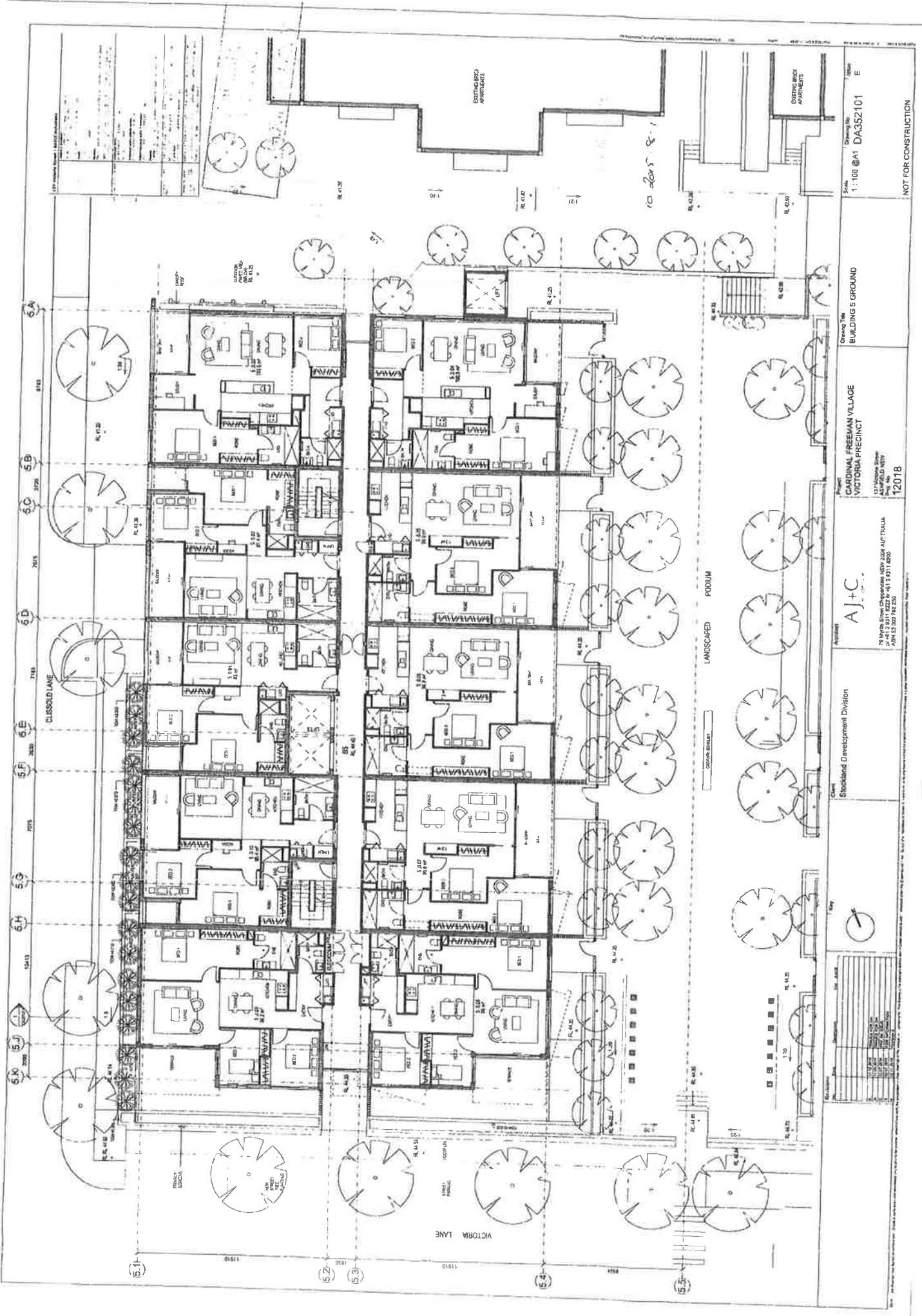


FOR CONTINUATION REFER TO DA352002

Revision No. Description Date 1. 100 @A1 DA352001 E		Drawing Title BS&C BASEMENT WEST		Project CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 12018		Architect A+C 21 North Street, Melbourne, VIC 3000 AUSTRALIA P +61 3 9211 8222 F +61 3 9211 8201 AUM 35 003 792 250		Client Stockland Development Division		Key 	
NOT FOR CONSTRUCTION											







Scale: 1:100 @ A1 DA352101 E  
 NOT FOR CONSTRUCTION

Project: CARDINAL FREEMAN VILLAGE  
 VICTORIA PRECINCT

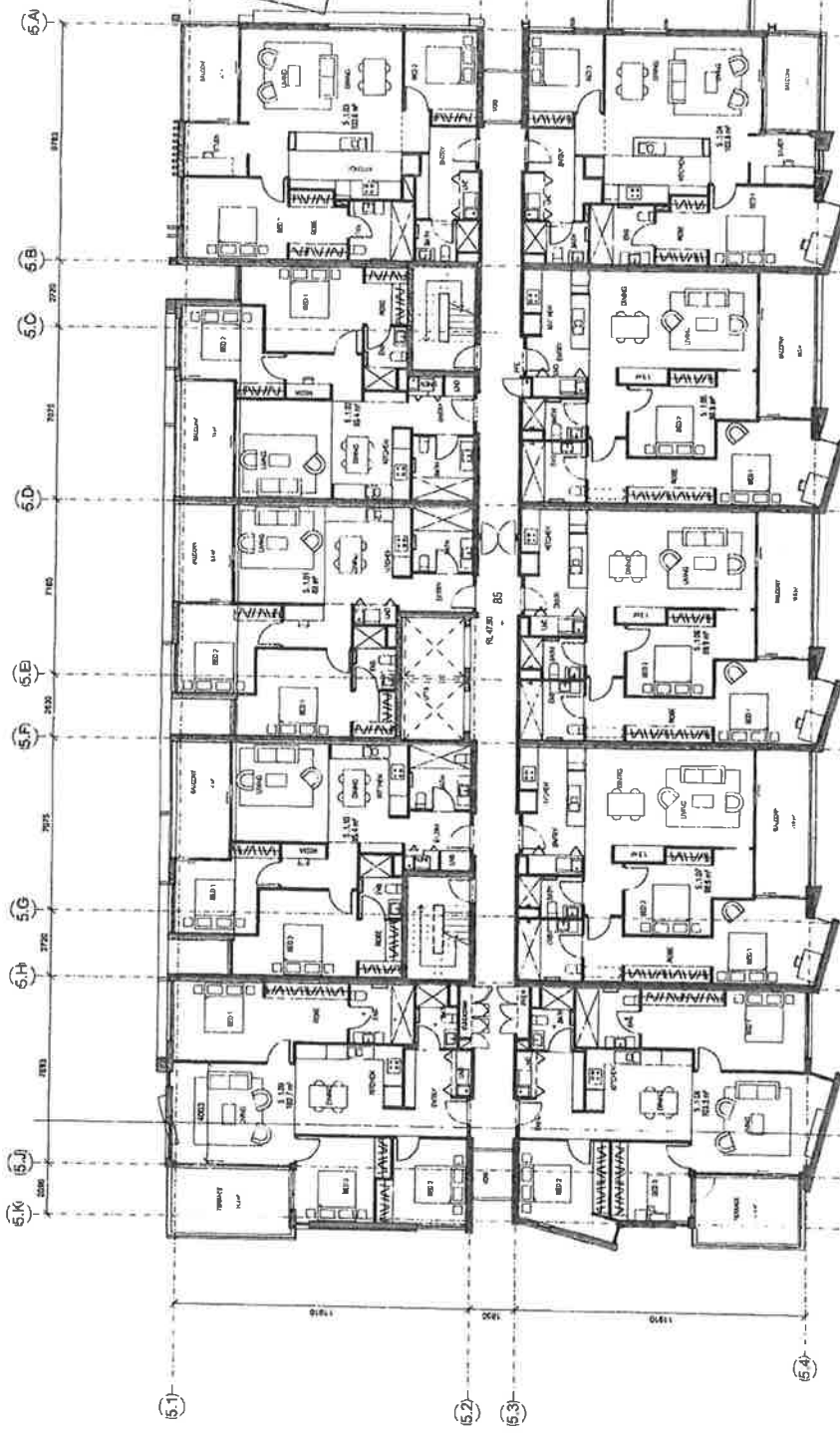
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 Architect: A|C  
 78 Myers Street, Chesham NSW 2258 AUSTRALIA  
 PH: 02 9333 4444 FAX: 02 9333 4444  
 12018

Drawing Title: BUILDING 5 GROUND



Rev	Description	Date
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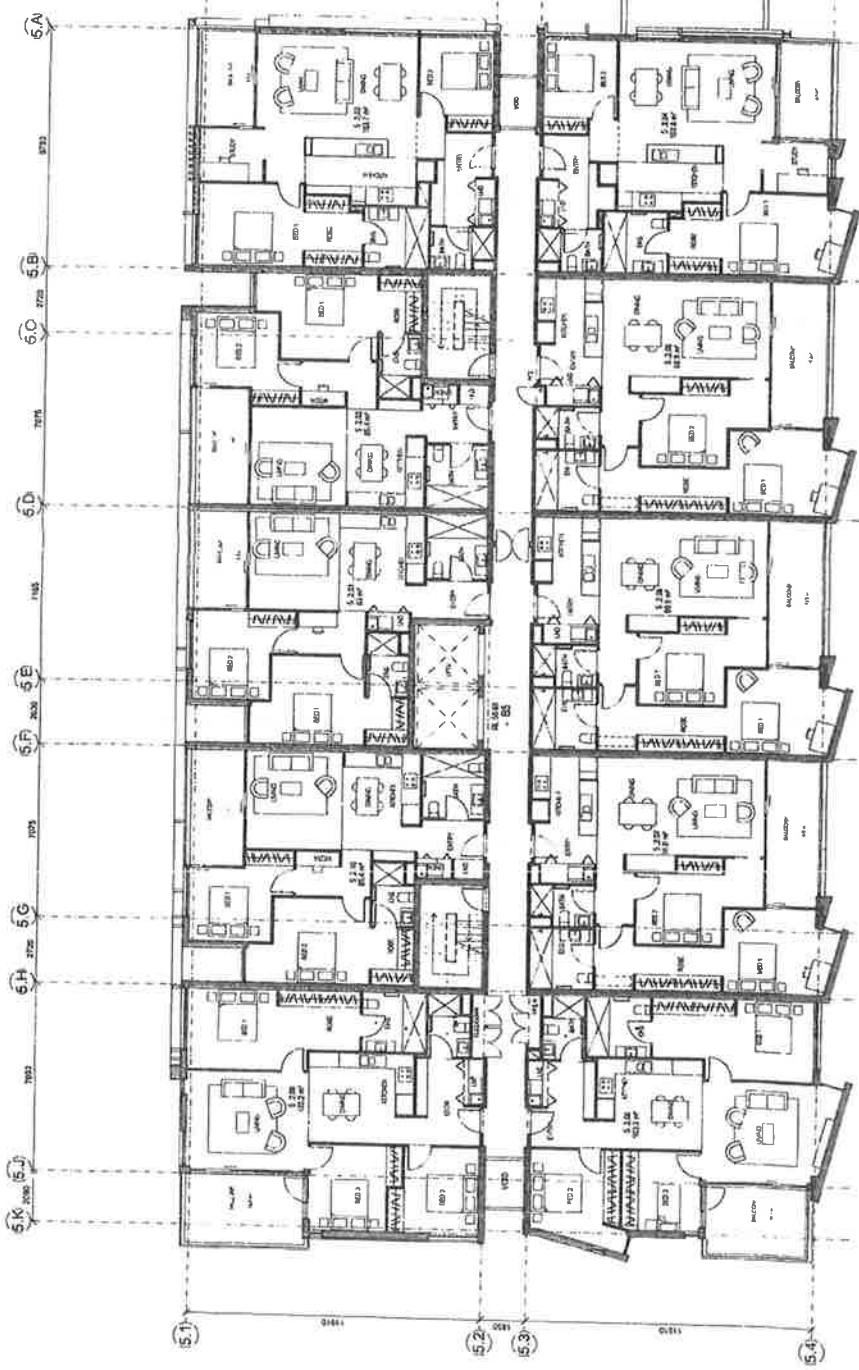
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Project <b>CARDINAL FREEMAN VILLAGE          VICTORIA PRECINCT</b> 137 Victoria Street ACADEMIA NSW 12018	Architect <b>AJC</b> 79 Market Street, Chippendale NSW 2008 AUSTRALIA PH: 02 9550 1234 FAX: 02 9550 1235	Client Stockland Development Division	Scale 1:100 @A1 DA352102	Page E
NOT FOR CONSTRUCTION				

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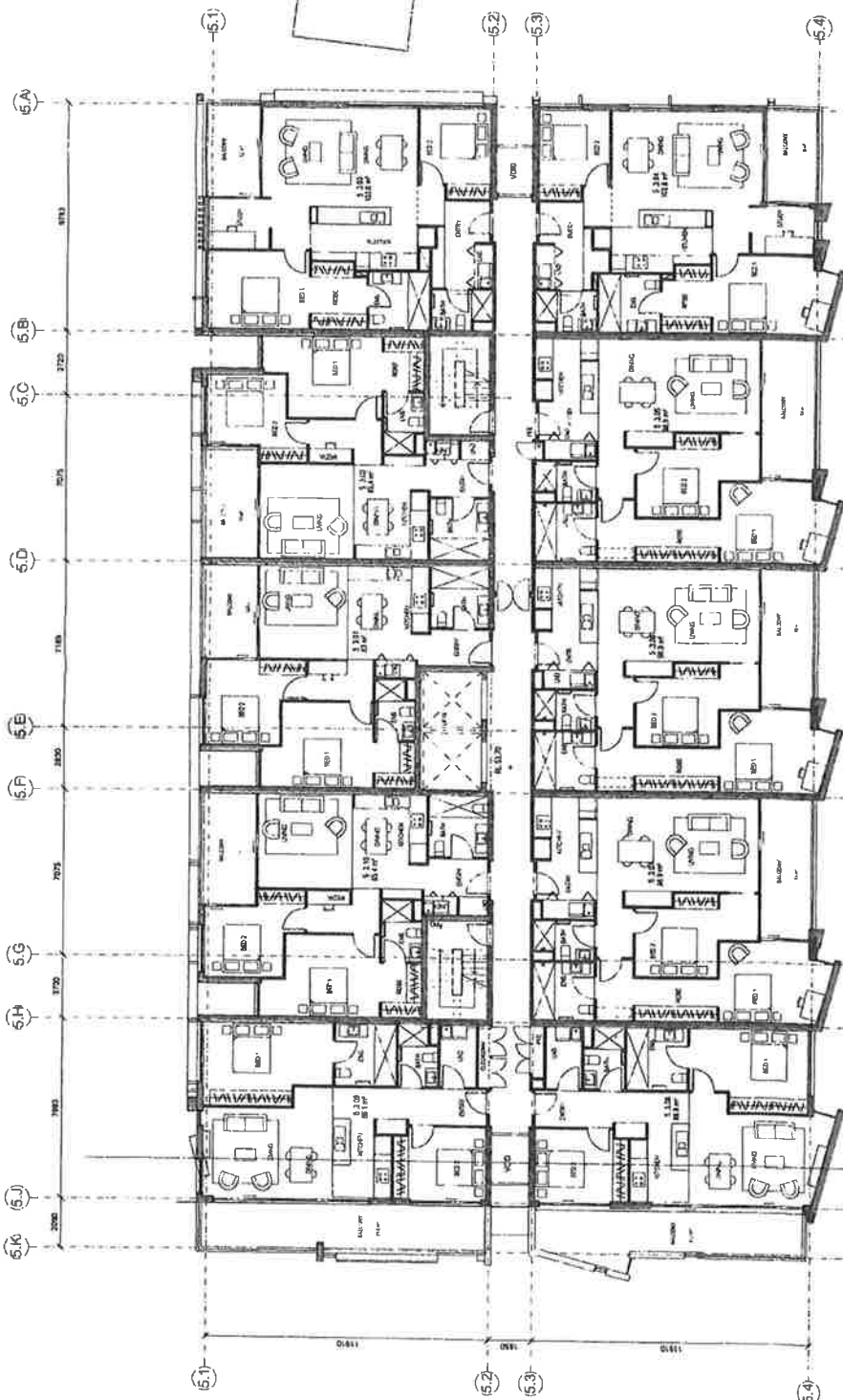
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10/05/2018



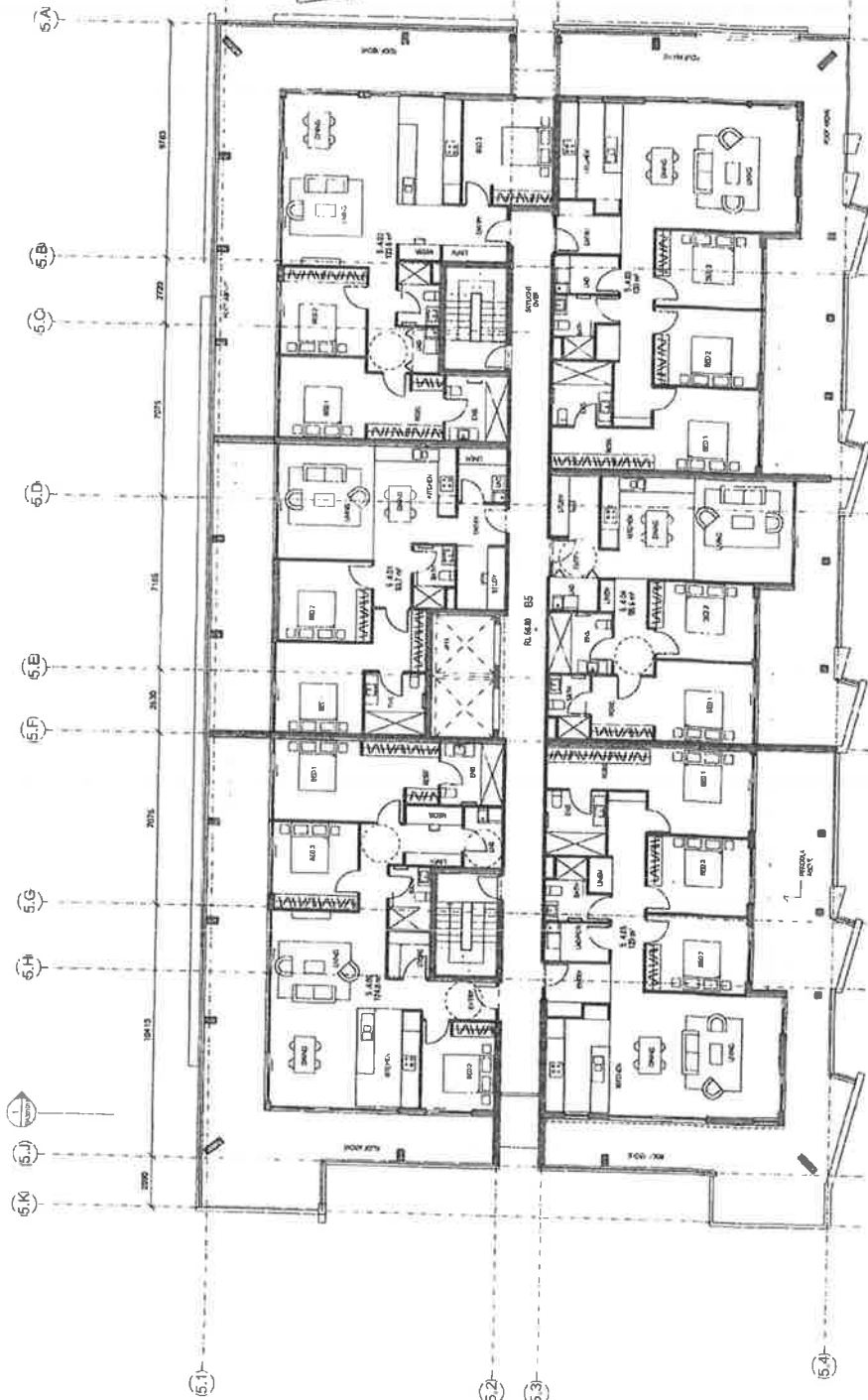
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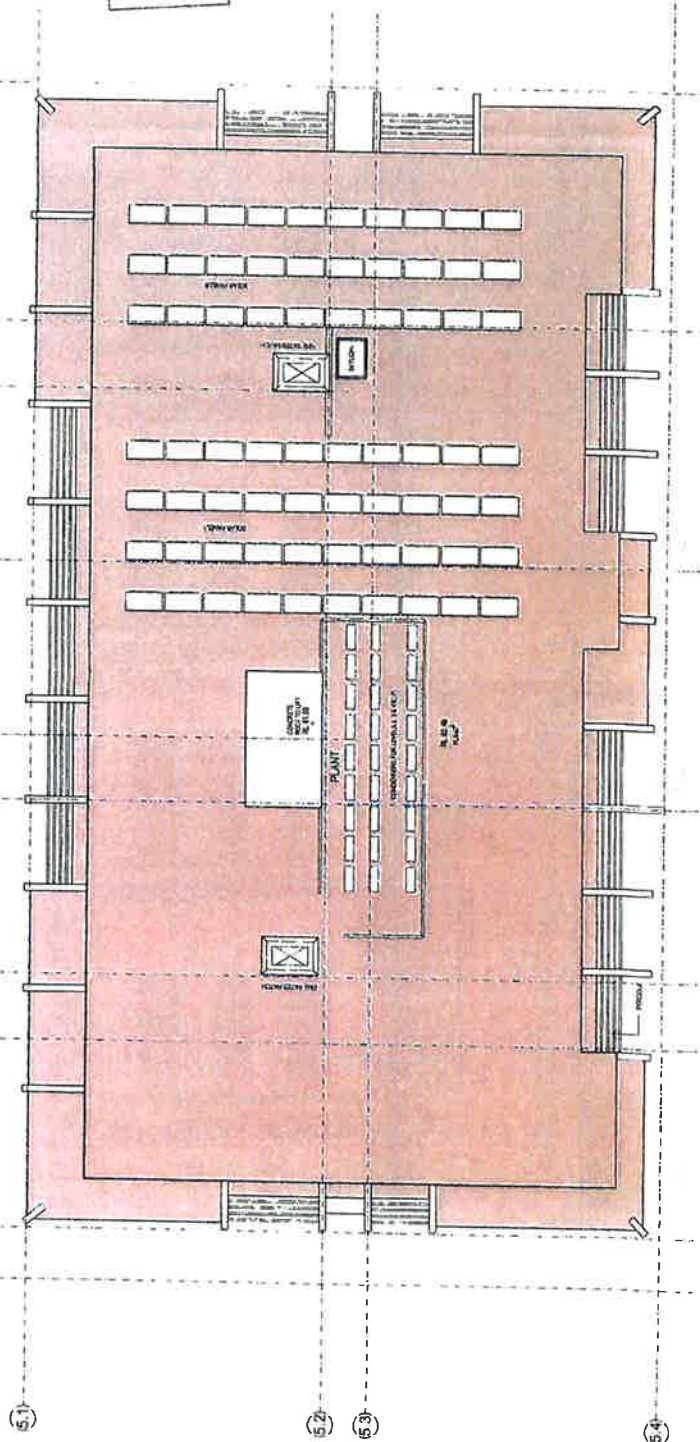
<p>Client: Stockland Development Division</p> <p>Architect: <b>AJ+C</b></p> <p>78 Macquarie Street, Sydney NSW 2000 AUSTRALIA          Tel: +61 2 9551 8322 Fax: +61 2 9551 8320          www.ajc.com.au</p>	<p>Project: CARDINAL FREEMAN VILLAGE          VICTORIA PRECINCT</p> <p>170 Victoria Street          ADELAIDE SA 5000          12018</p>	<p>Drawing No: BUILDING 5 LEVEL 3</p> <p>Scale: 1:100 @A1</p> <p>DA352104</p>	<p>Sheet: E</p> <p>NOT FOR CONSTRUCTION</p>
	<p>10/20/15 8.1</p>		

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10.2015.8.1

<b>Project</b> CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 131 Victoria Street APOPOLO, VIC 3207 12018		<b>Client</b> Stoodand Development Division	<b>Architect</b> A.J.C. 79 Lyons Street, Cheltenham, VIC 3192 Australia Phone: 03 9594 1234 Fax: 03 9594 1235	<b>Scale</b> 1:100 @A1 DA352105	<b>Issue</b> E
<b>Drawing Title</b> BUILDING 5 LEVEL 4		<b>NOT FOR CONSTRUCTION</b>			



10.2015  
8.1

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Stockland Development Division

$$A|+C$$

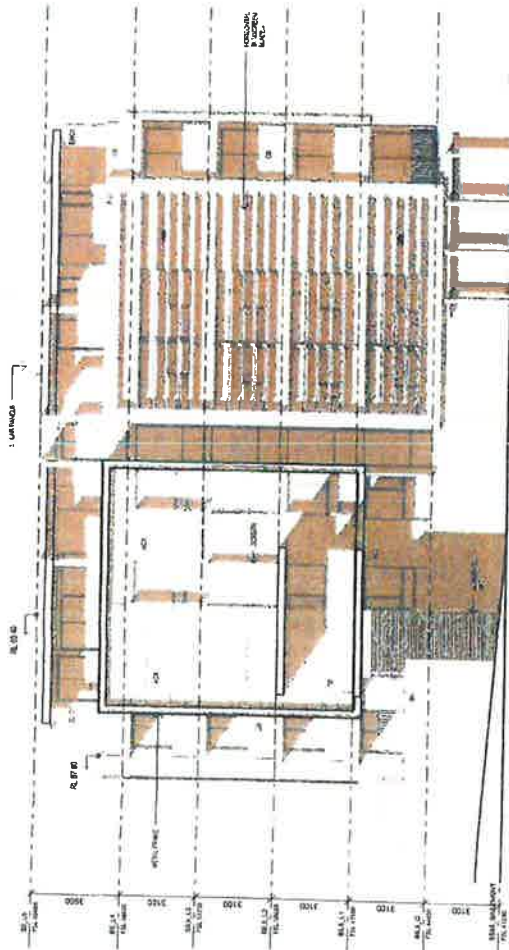
Project: **CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT**

Drawing Title  
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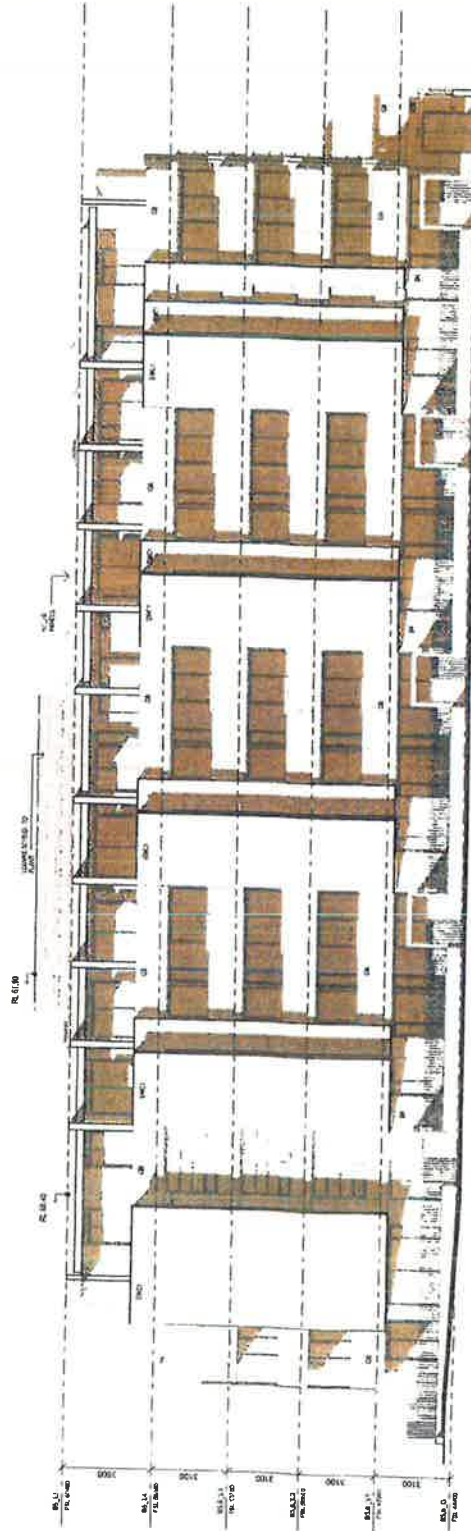
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Drawing No  
DA352106

NOT FOR CONSTRUCTION





1 BUILDING S NORTH ELEVATION  
1:100



2 BUILDING S EAST ELEVATION  
1:100

### EXTERNAL FINISHES LEGEND

- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
WHISPER WHITE.
- EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
LEVMAN
- BK MASONRY AS SELECTED
- PC1 PAINTED CONCRETE DULUX WHISPER WHITE.
- ACX PAINTED ACRYTEX FINISH IN SELECTED COLOURS
- GB GLAZED FRAMED BALUSTRADES.

10 2015 8 1

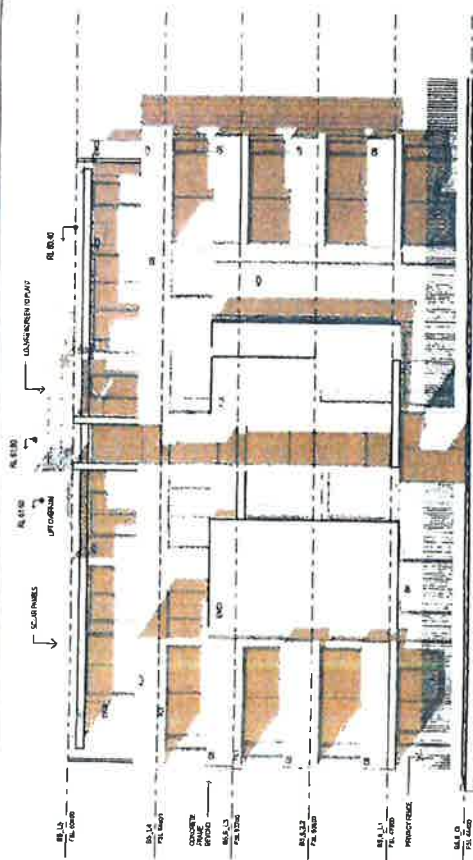
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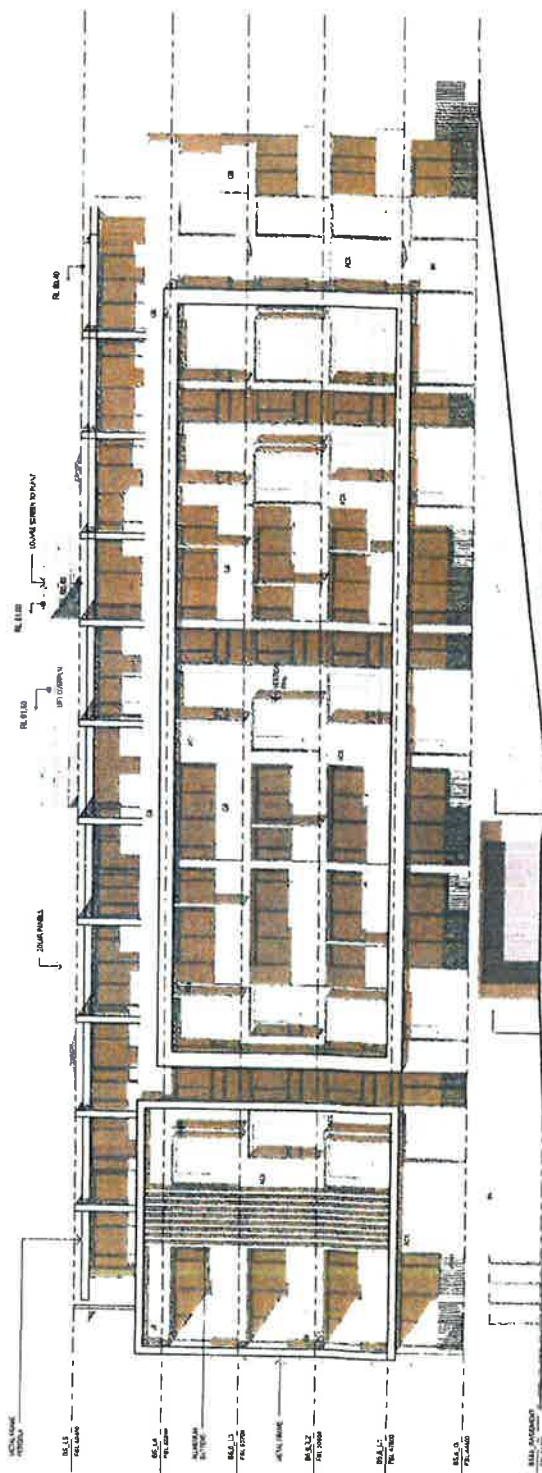
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EW1C1  
EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
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EW2C	EXTERNAL WALL CLADDING REFINISHED PANELS WITH EMBEDDED JOINTS, COLOUR TO MATCH DULUX LEAMANN
BK	MASONRY AS SELECTED
PC1	PAINTED CONCRETE DULUX 'WHISPER WHITE'.
PCX	PAINTED ACRYTEX FINISH IN SELECTED COLOURS
38	GLAZED FRAMED BALUSTRADES

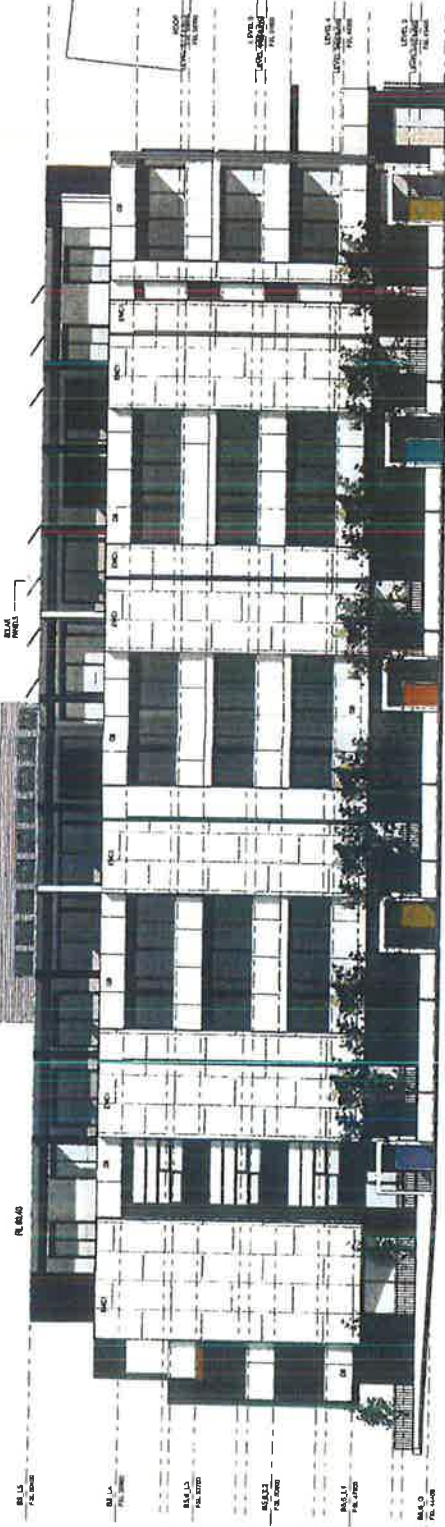


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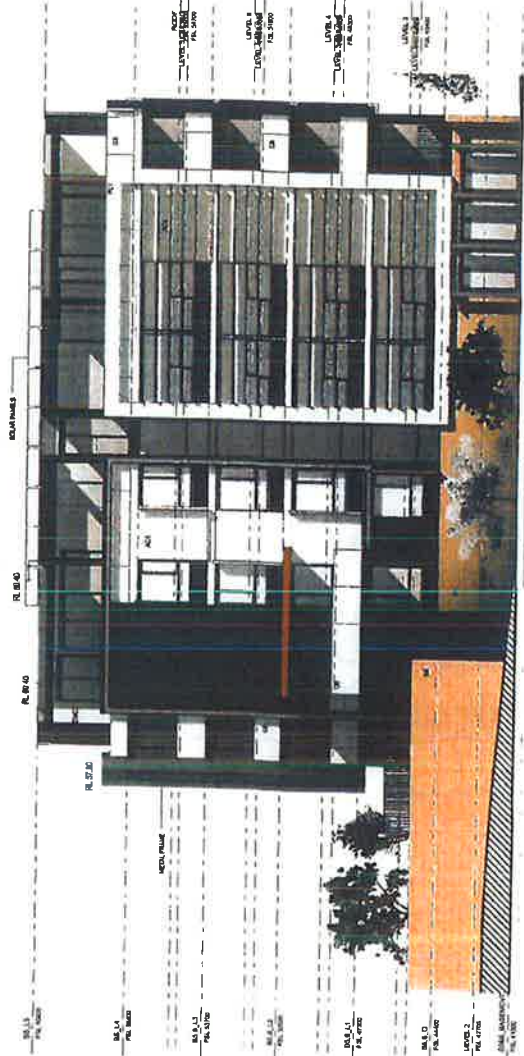


2) BUILDING 5 WEST ELEVATION





1 BUILDING 5 EAST ELEVATION COLOUR  
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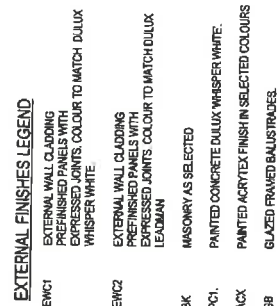
2 BUILDING 5 NORTH ELEVATION COLOUR  
1:100

- EXTERNAL FINISHES LEGEND**
- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
WHISPER WHITE.
  - EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
LEADMAN
  - BK MASONRY AS SELECTED
  - PC1 PAINTED CONCRETE DULUX 'WHISPER WHITE'.
  - ACX PAINTED ACRYTEX FINISH IN SELECTED COLOURS
  - GB GLAZED FRAMED BALUSTRADES.

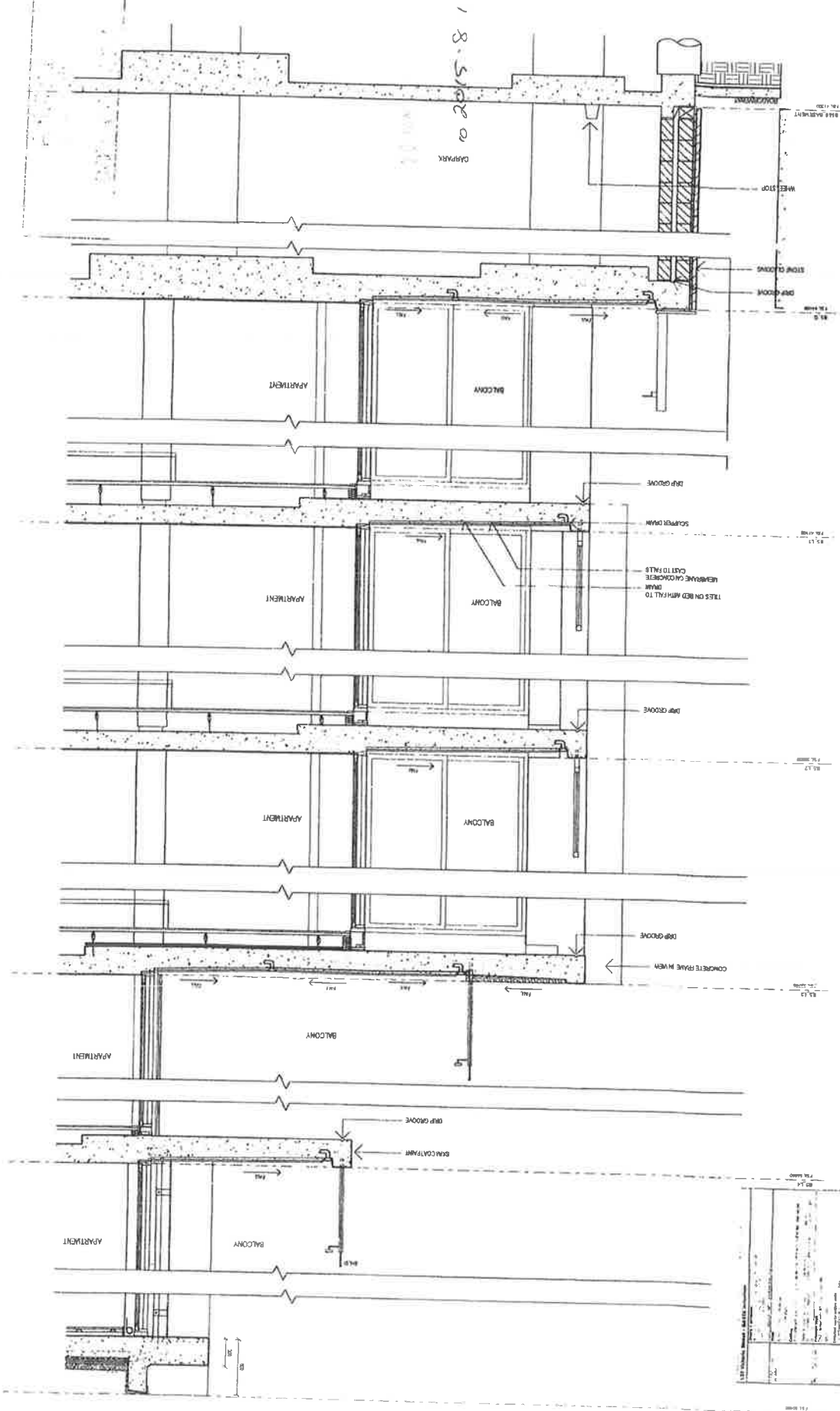
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Drawing Title <b>BUILDING 5 NORTH &amp; EAST ELEVATIONS COLOUR</b>		Drawing No. <b>DA353103</b>	Scale <b>1:100 @A1</b>	Date <b>D</b>
Project <b>CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</b>		NOT FOR CONSTRUCTION		
Client <b>Stockland Development Division</b>		12018		
Architect <b>AJC</b>		177 Victoria Street MELBOURNE VIC 3000 PH: 03 9412 4111 FAX: 03 9412 4111		
Revision No. Description 1.0 Initial Design 2.0 Final Design 3.0 Final Design		29 Maple Street Melbourne VIC 3000 PH: 03 9412 4111 FAX: 03 9412 4111		





<b>Revisions</b>	<b>Date</b>	<b>Description</b>	<b>By</b>	<b>Check</b>	<b>Architect</b>	<b>Project</b>	<b>Drawing Title</b>	<b>Scale</b>	<b>Drawing No.</b>	<b>Issue</b>
					<b>AJC</b> ARCHITECTS 79 Myrtle Street, Chippendale NSW 2006 AUSTRALIA TEL: +61 2 8111 8200 FAX: +61 2 8111 8201 WWW.AJCAUS.COM	CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT	BUILDING 5 SOUTH & WEST ELEVATIONS COLOUR	1 : 100 @A1	DA353104	D
<b>NOT FOR CONSTRUCTION</b>										



Project: CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT

Client: A+C

Architect: A+C

79 Myrtle Street, Melbourne VIC 3002 AUSTRALIA  
P: 03 9594 1822 F: 03 9594 1823  
WWW.AJ+C.COM.AU

Drawing No: DA353201

Scale: 1:20 @A1

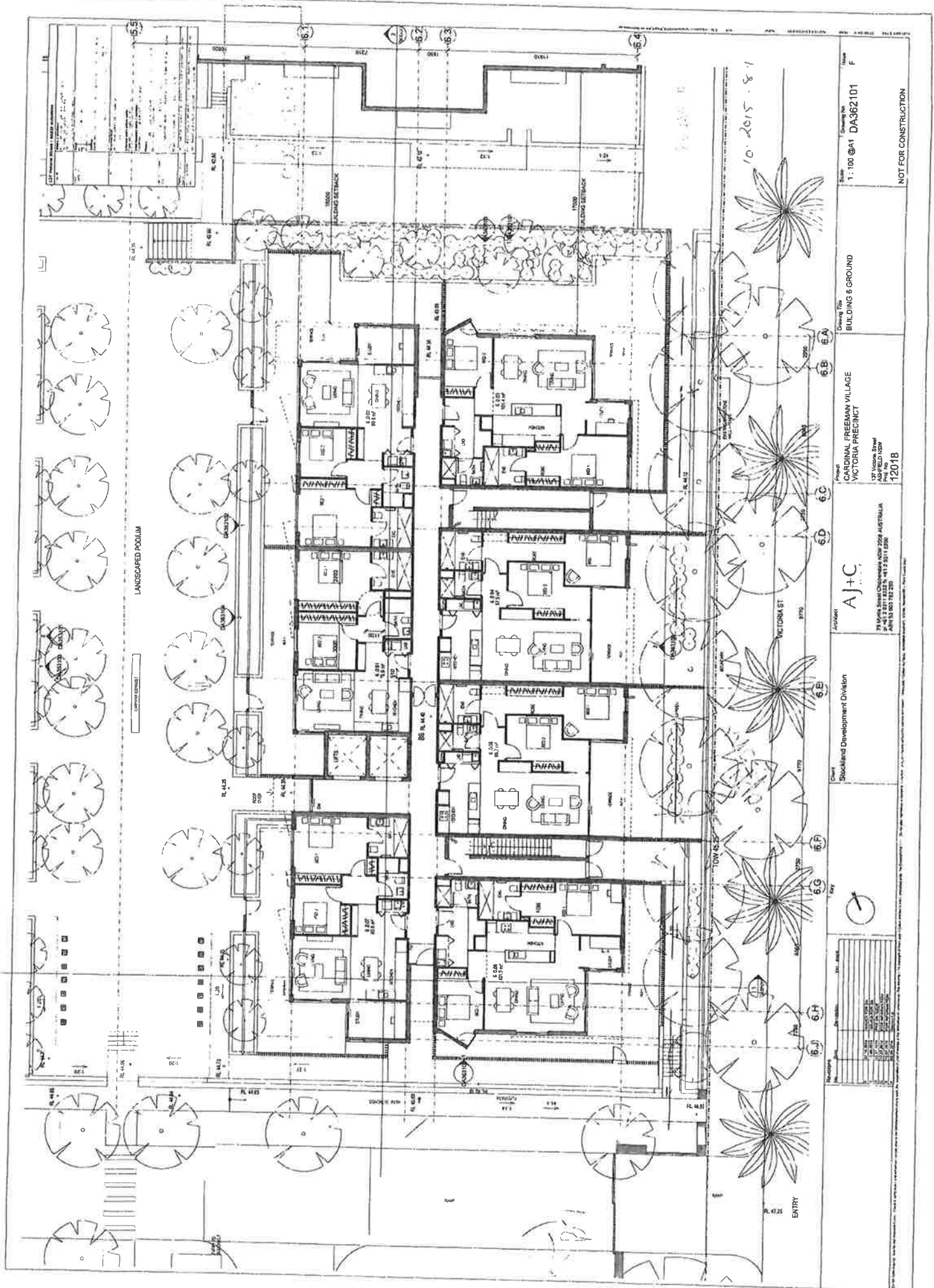
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Section: BUILDING 5 SECTION

12018

Standard Development Division

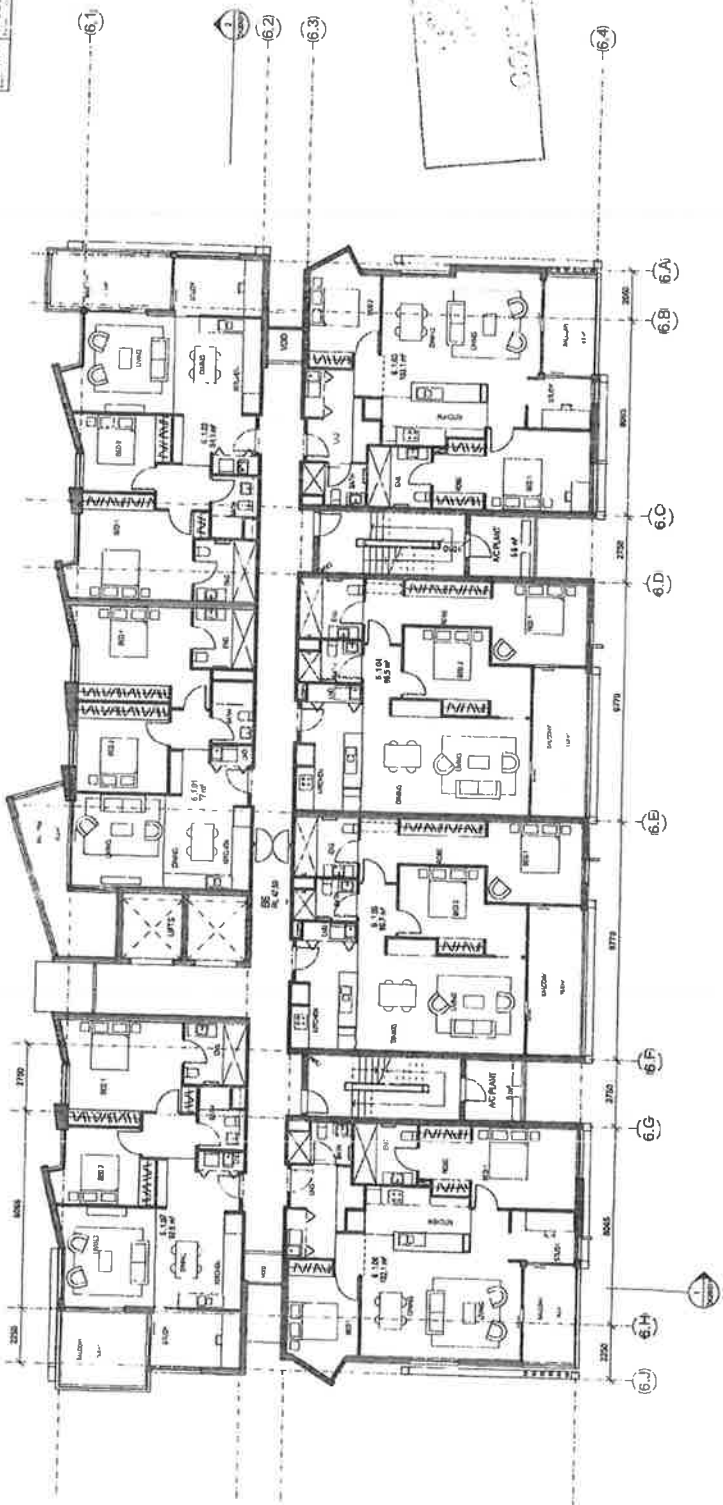
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10.2015.8.1

<p>Client Stockland Development Division</p>	<p>Architect A+J+C</p>	<p>Project CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>	<p>Drawing Title BUILDING 6 GROUND</p>	<p>Scale 1:100 @A1</p>	<p>Drawing No. DA362101</p>	<p>Sheet F</p>
<p>29 Myers Street, Melbourne VIC 3000 AUSTRALIA ABN 53 603 182 280 PH 03 9594 1234 WWW.AJANDC.COM.AU</p>	<p>12018</p>	<p>NOT FOR CONSTRUCTION</p>				

Rev	Description	Date
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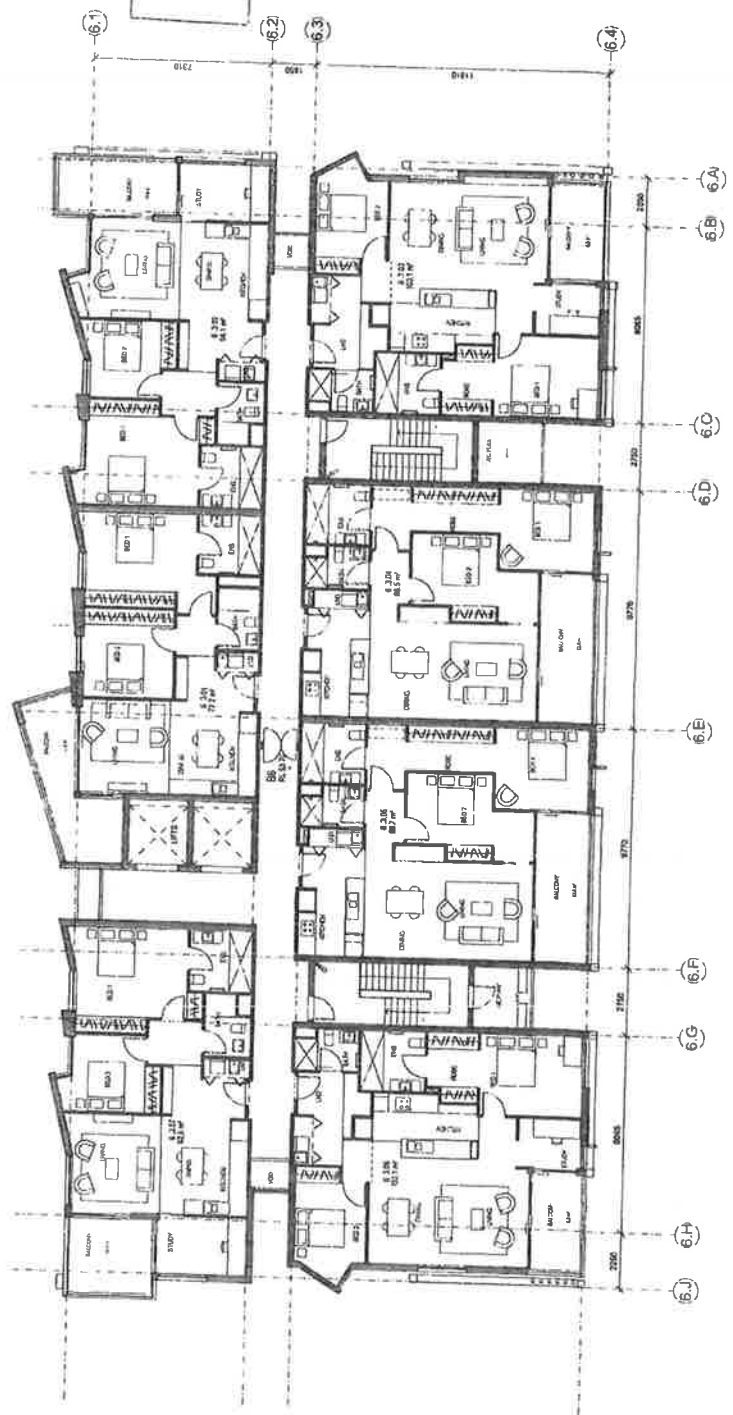
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Project <b>CARDINAL FREEMAN VILLAGE</b> VICTORIA PRECINCT 131 Victoria Street ADELAIDE SA 5000 12018	Client Stockland Development Division	Architect <b>AJ+C</b> 70 South Street DEakin VIC 3015 08 8311 8228	Drawing Title <b>BUILDING 6 LEVEL 1</b>	Scale <b>1:100 @ A1</b>	Drawing No. <b>DA362102</b>	Issue <b>E</b>
			NOT FOR CONSTRUCTION			





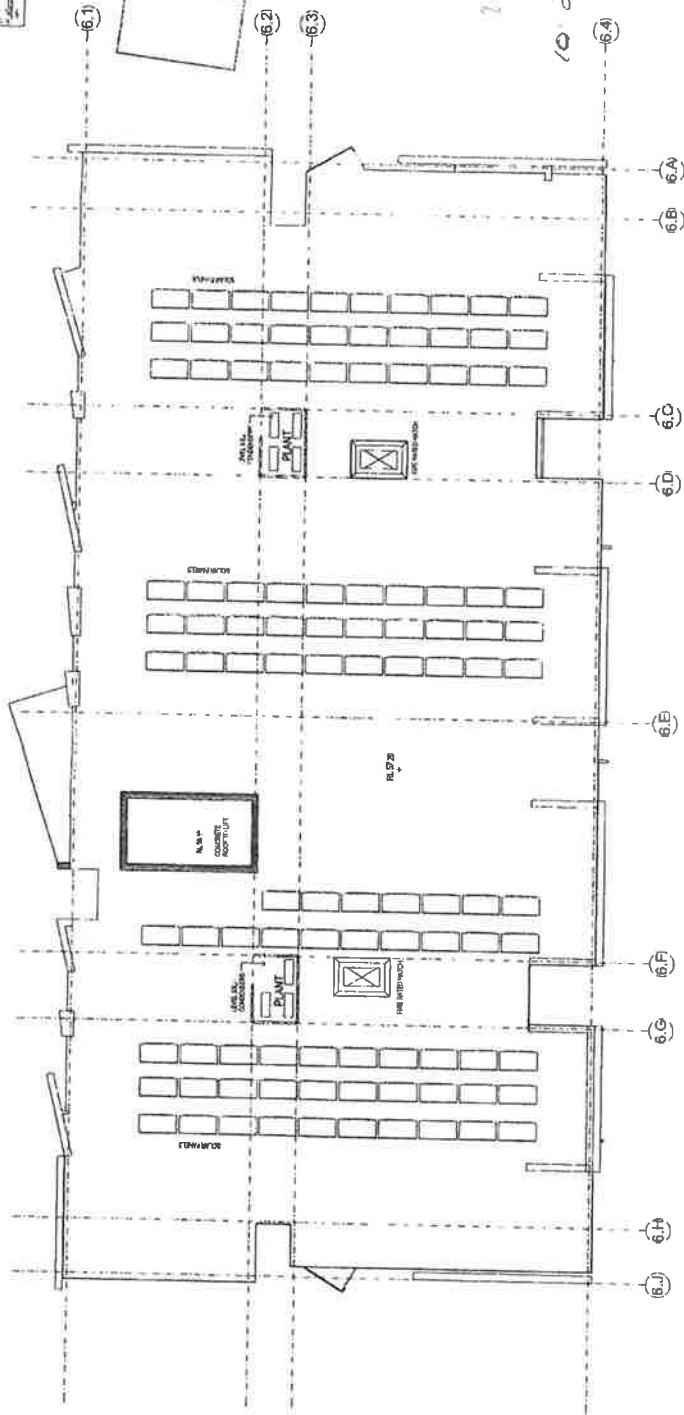
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10.2015.8.1

<b>Project</b> CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 127 Victoria Street ASHFIELD NSW 1500 12018		<b>Drawing Title</b> BUILDING 8 LEVEL 3	<b>Scale</b> 1:100 @A1 <b>Drawing No</b> DA362104 <b>Issue</b> E
<b>Client</b> Stockland Development Division		<b>Architect</b> A.J.C. 19 Alfred Street, Cammeray NSW 1585 AUSTRALIA Ph: 02 9550 1234 Fax: 02 9550 1235 Email: info@ajc.com.au	
<b>NOT FOR CONSTRUCTION</b>			

Rev	Description	Date	By	Check
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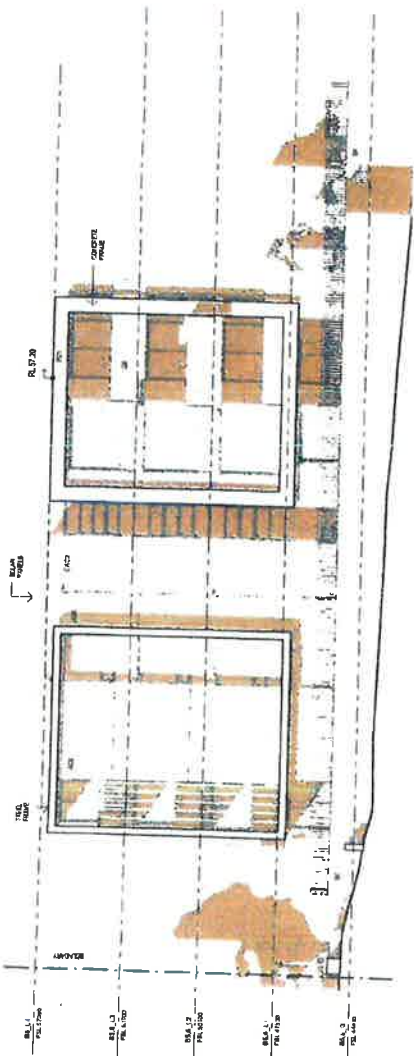
Scale 1:100 @A1 Drawing No. DA362105 Title E	Drawing Title BUILDING 6 ROOF	Project CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 170 Union Road ABERFELD NSW 2170 12018	Architect AJ+C 78 Maple Street Chippendale NSW 1506 AUSTRALIA PH: 02 9550 4111 FAX: 02 9550 4111 WWW.AJPLUS.COM.AU	Client Stockland Development Division	Key 	Revision <table border="1"> <tr> <th>Rev</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>1</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>2</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>3</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>4</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>5</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>6</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>7</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>8</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>9</td> <td>Issue for construction</td> <td>10/2015</td> </tr> <tr> <td>10</td> <td>Issue for construction</td> <td>10/2015</td> </tr> </table>	Rev	Description	Date	1	Issue for construction	10/2015	2	Issue for construction	10/2015	3	Issue for construction	10/2015	4	Issue for construction	10/2015	5	Issue for construction	10/2015	6	Issue for construction	10/2015	7	Issue for construction	10/2015	8	Issue for construction	10/2015	9	Issue for construction	10/2015	10	Issue for construction	10/2015
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9	Issue for construction	10/2015																																					
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NOT FOR CONSTRUCTION																																							

DATE	10/01/2018	BY	DAVID
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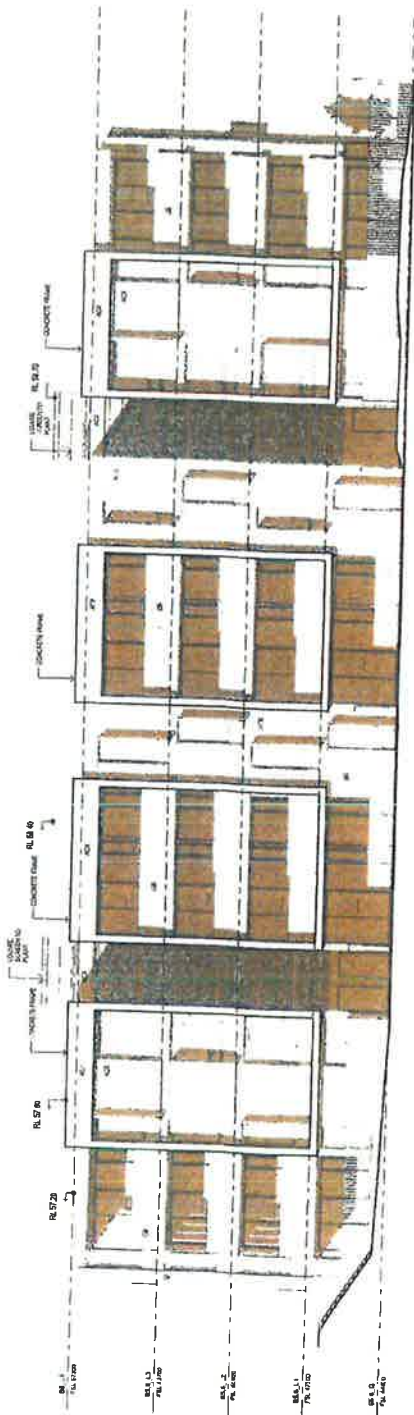
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10/01/2018

- EXTERNAL FINISHES LEGEND**
- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
WHISPER WHITE.
  - EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
LEONHARDT.
  - BK MASONRY AS SELECTED
  - PC1 PAINTED CONCRETE DULUX WHISPER WHITE
  - ACX PAINTED ACRYTEX FINISH IN SELECTED COLOURS
  - GB GLAZED FRAMED BALUSTRADES.



1 BUILDING 6 NORTH ELEVATION



2 BUILDING 6 EAST ELEVATION

<b>Project</b> CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 127 Victoria Street MELBOURNE VIC 3000 Phone: 03 9593 7823		<b>Drawing Title</b> BUILDING 6 NORTH & EAST ELEVATIONS	<b>Scale</b> 1:100 @A1	<b>DA363101</b> E																																	
<b>Client</b> Stoddard Development Division		<b>Architect</b> AJC 28 Maple Street, Camberley, NSW 2262 Phone: 02 4311 8222																																			
<b>Revision</b> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>6</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>7</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>8</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>9</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>10</td> <td>10/01/2018</td> <td>ISSUED FOR PERMIT</td> </tr> </tbody> </table>		No.	Date	Description	1	10/01/2018	ISSUED FOR PERMIT	2	10/01/2018	ISSUED FOR PERMIT	3	10/01/2018	ISSUED FOR PERMIT	4	10/01/2018	ISSUED FOR PERMIT	5	10/01/2018	ISSUED FOR PERMIT	6	10/01/2018	ISSUED FOR PERMIT	7	10/01/2018	ISSUED FOR PERMIT	8	10/01/2018	ISSUED FOR PERMIT	9	10/01/2018	ISSUED FOR PERMIT	10	10/01/2018	ISSUED FOR PERMIT	<b>NOT FOR CONSTRUCTION</b>		
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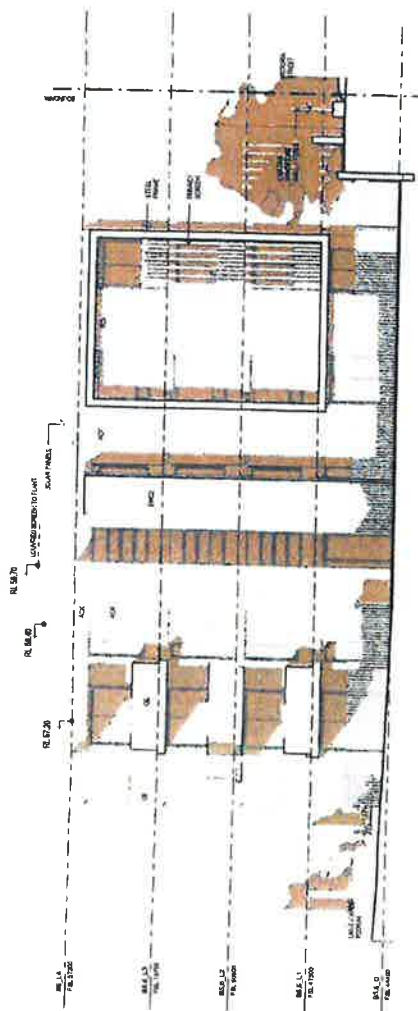
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8	EXTERNAL WALL CLADDING	100	m <sup>2</sup>	100	100
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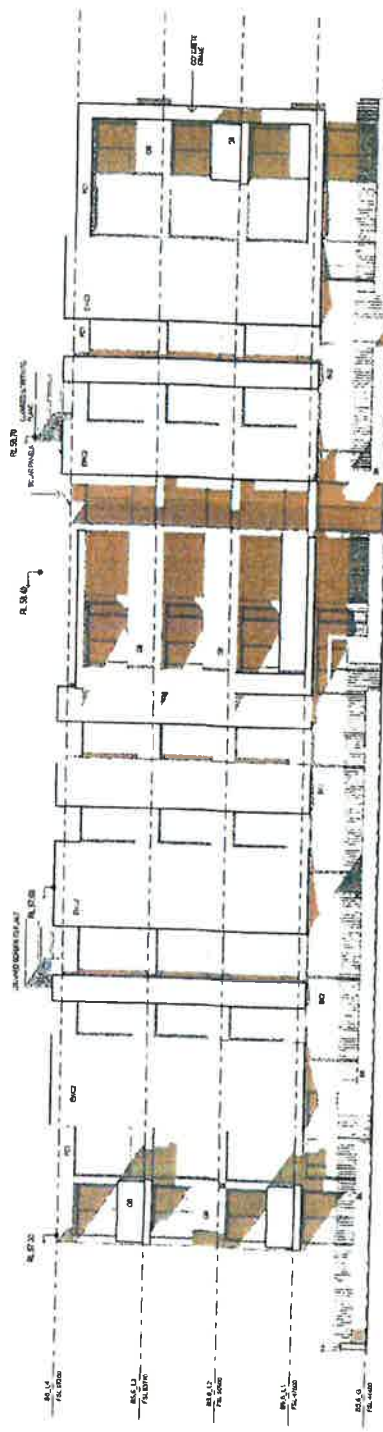
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# EXTERNAL FINISHES LEGEND

- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
WHISPER WHITE.
- EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
LEADMAN
- BK MASONRY AS SELECTED
- PC1 PAINTED CONCRETE DULUX WHISPER WHITE.
- ACX PAINTED ACRYTEX FINISH IN SELECTED COLOURS
- GB GLAZED FRAMED BALUSTRADES



2 BUILDING S SOUTH ELEVATION



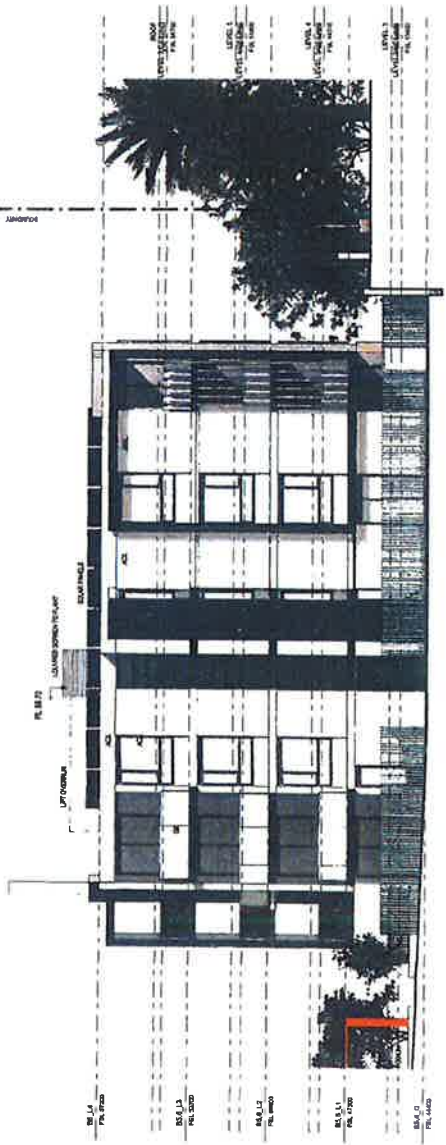
1 BUILDING S WEST ELEVATION

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<p>Client: Stockland Development Division</p>		<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>		
<p>Architect: A.J.C.</p>		<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>		
<p>79 Ayres Street, Chippendale NSW 2008 AUSTRALIA Ph: 02 9311 0022 N: 02 9311 0200 Fax: 02 9311 0200</p>		<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>		
<p>12018</p>		<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>		
<p>NOT FOR CONSTRUCTION</p>		<p>Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT</p>		

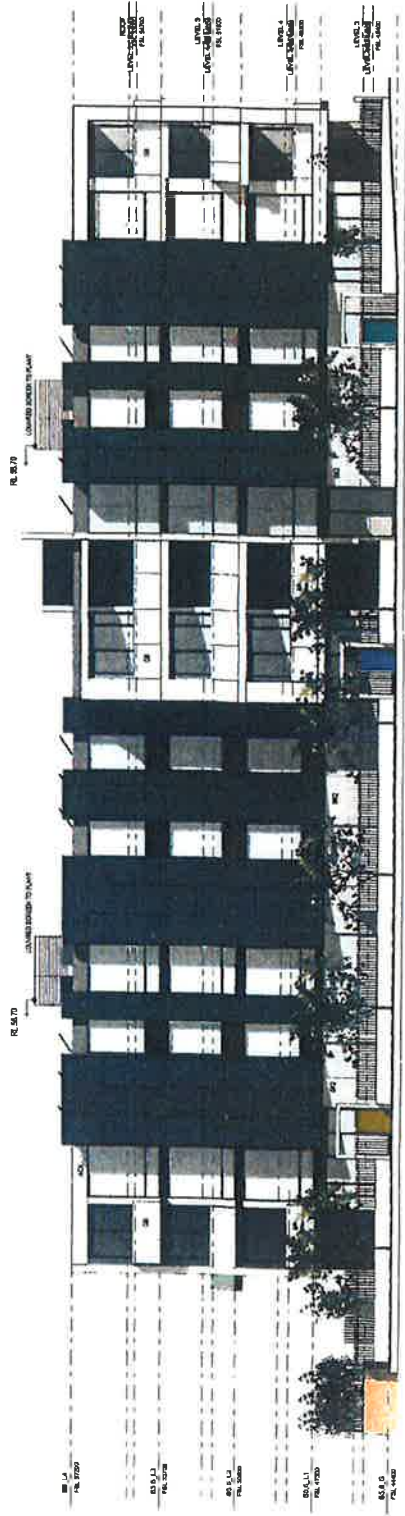


Architect  
Council  
COUNCIL COPY

7/1/2015  
10/2015 8.1



1 BUILDING 8 SOUTH ELEVATION  
1:100



2 BUILDING 8 WEST ELEVATION  
1:100

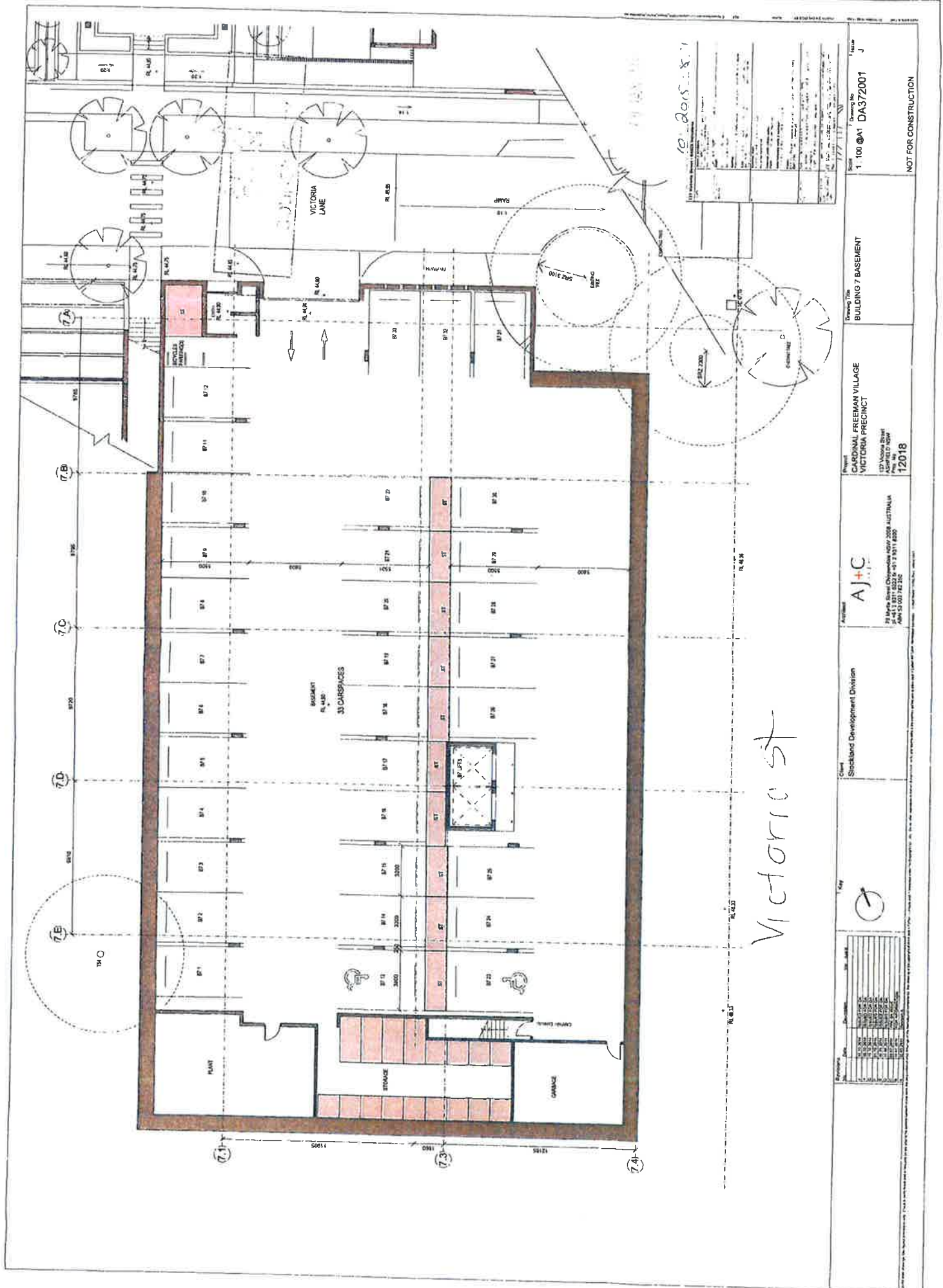
- EXTERNAL FINISHES LEGEND**
- EW1 EXTERNAL WALL CLADDING  
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  - ACK PAINTED ACRYTEX FINISH IN SELECTED COLOURS
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Representative		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date _____		No. _____ Date 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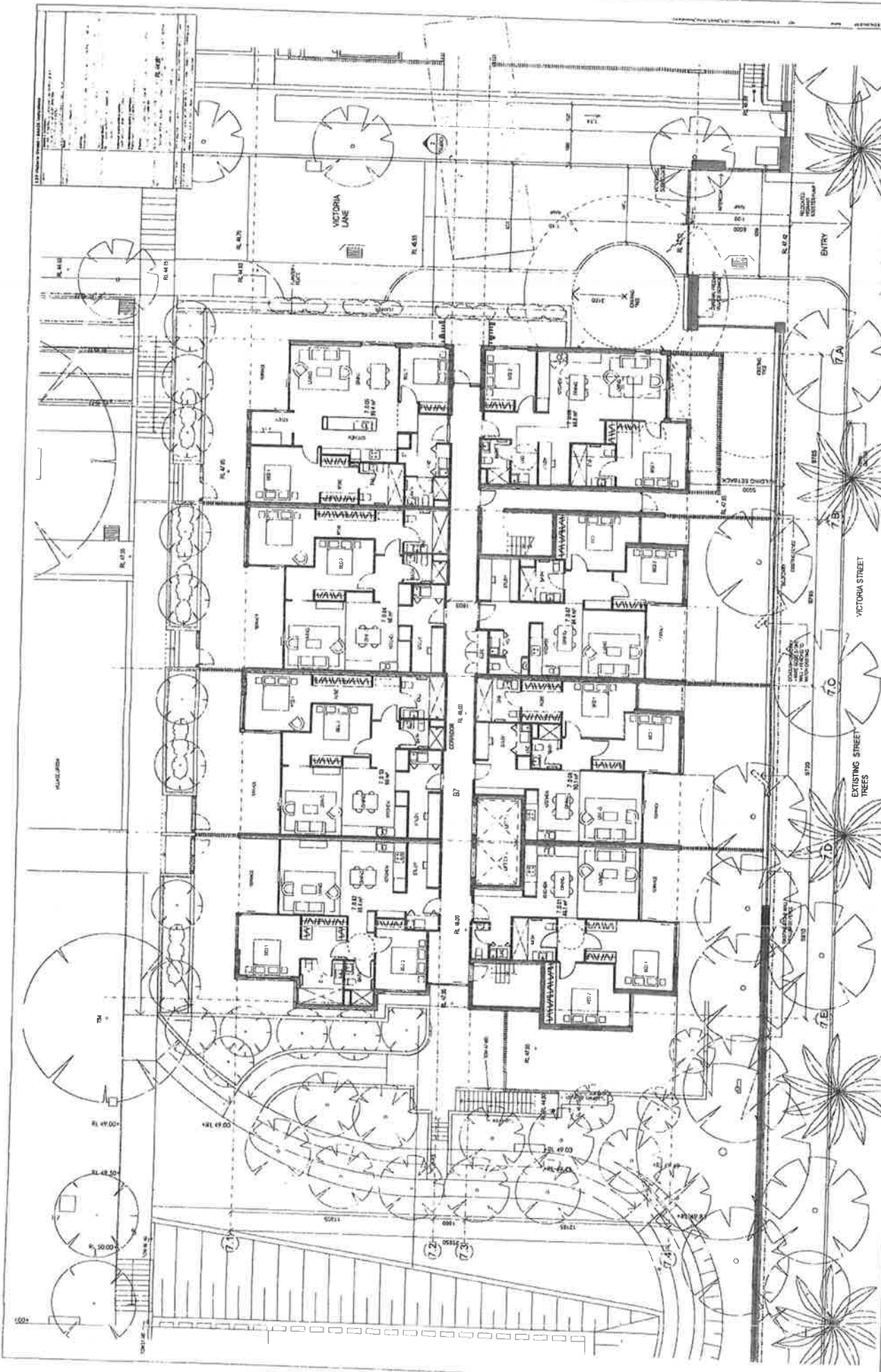




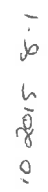



Victoria St

Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 127 Victoria Street VIC 3000 Phone: 03 9337 1200 Fax: 03 9337 1201		Drawing Title: BUILDING 7 BASEMENT		Drawing No: DA372001		Scale: 1:100 @A1		Issue: J	
Client: Stockland Development Division		Architect: A+J+C 31 Macquarie Street VIC 3000 Phone: 03 9337 1200 Fax: 03 9337 1201		12018		NOT FOR CONSTRUCTION			



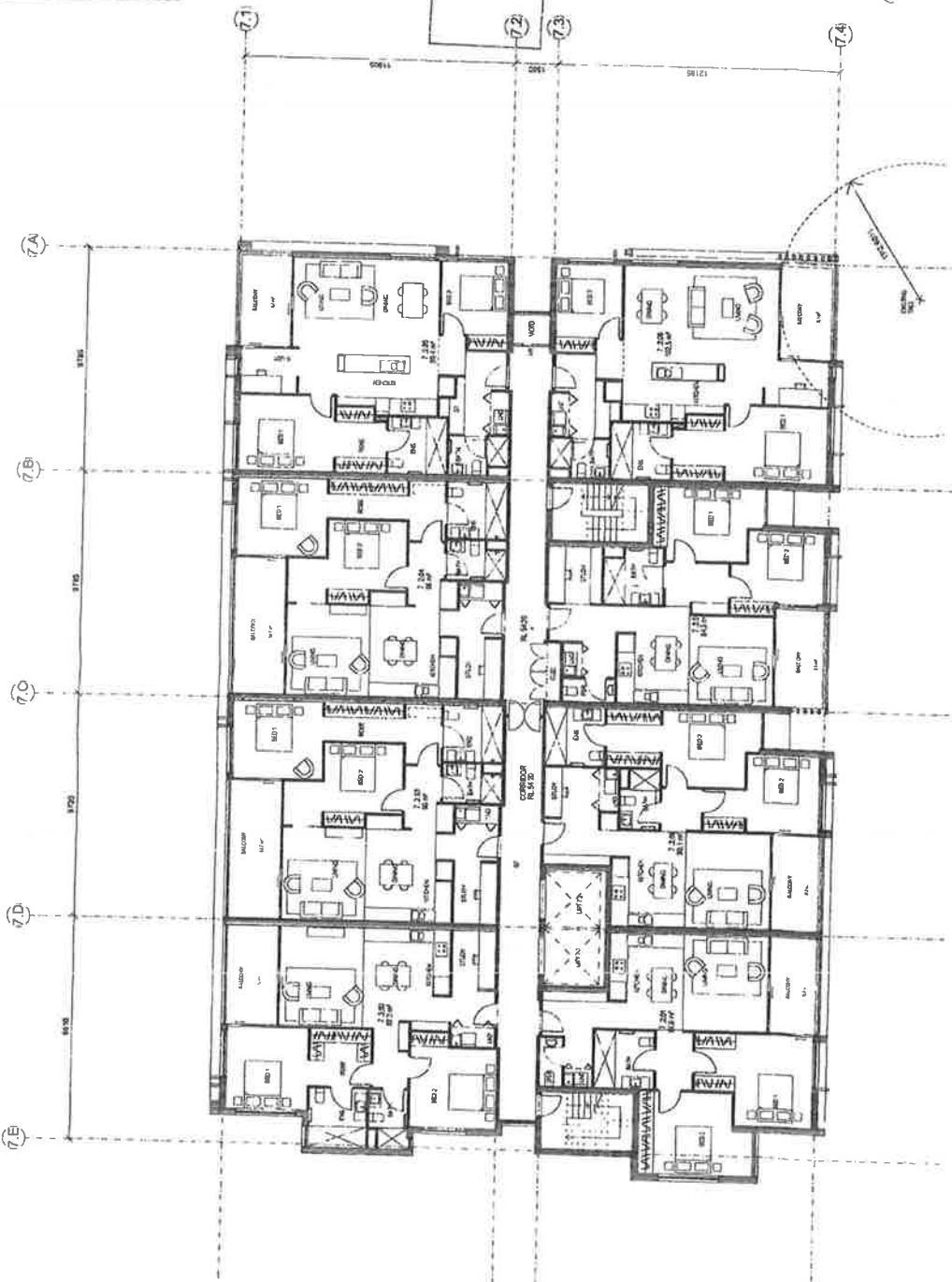
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NOT FOR CONSTRUCTION						



<p>  </p>	<p> <b>Stockland Development Division</b> </p>	<p> <b>AJC</b> </p>	<p> <b>Cardinal Freeman Village</b>  <b>VICTORIA PRECINCT</b> </p>	<p> <b>1:100 @A1</b>  <b>DA372102</b> </p>	<p> <b>NOT FOR CONSTRUCTION</b> </p>
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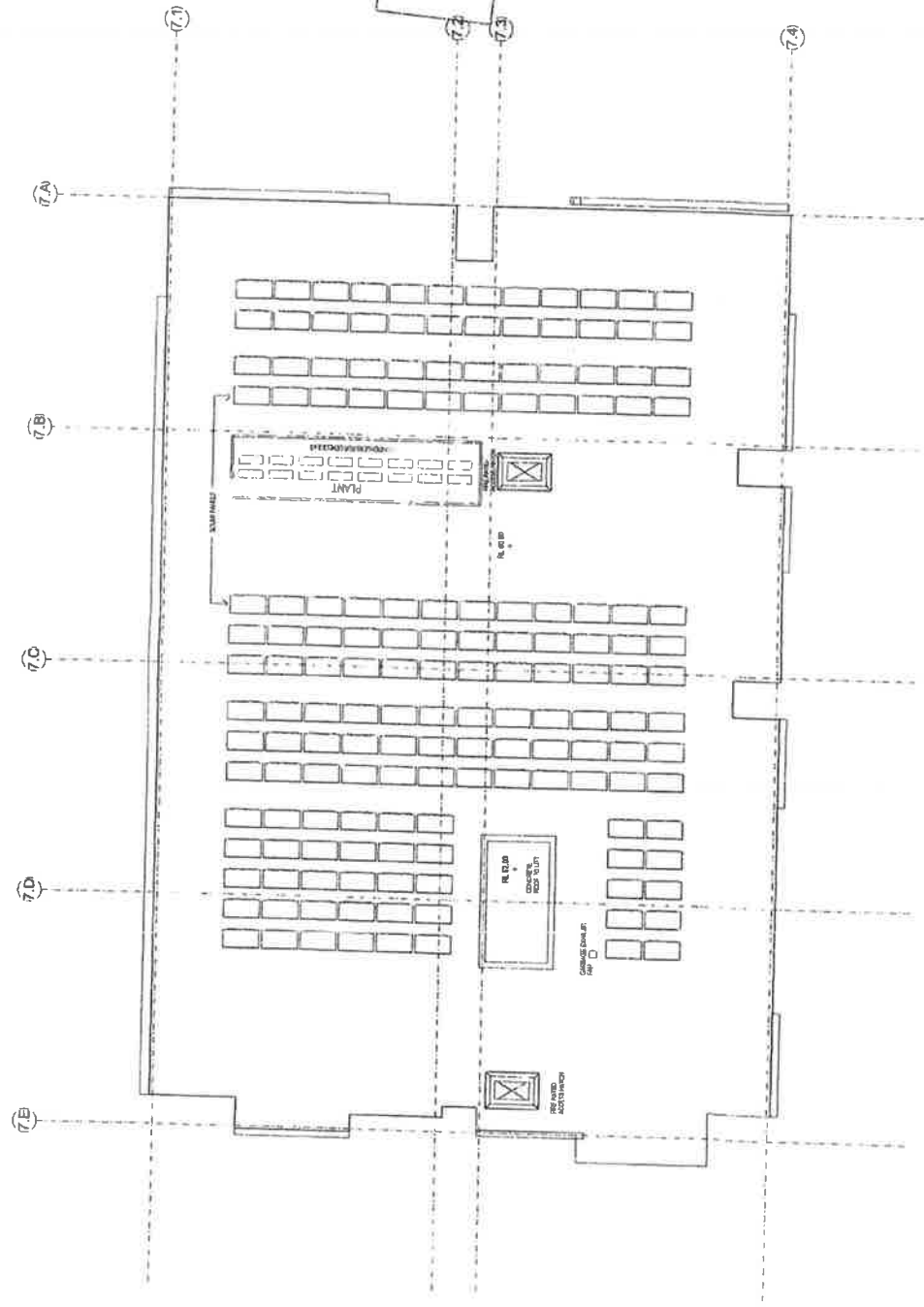


10-2015 8.1

<b>Client</b> Stockland Development Division		<b>Project</b> CARDINAL FREEMAN VILLAGE VICTORIA FREEMAN VILLAGE		<b>Scale</b> 1:100 @A1		<b>Drawing No</b> DA372103		<b>Sheet</b> E	
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REV	DESCRIPTION	DATE	BY	CHECKED
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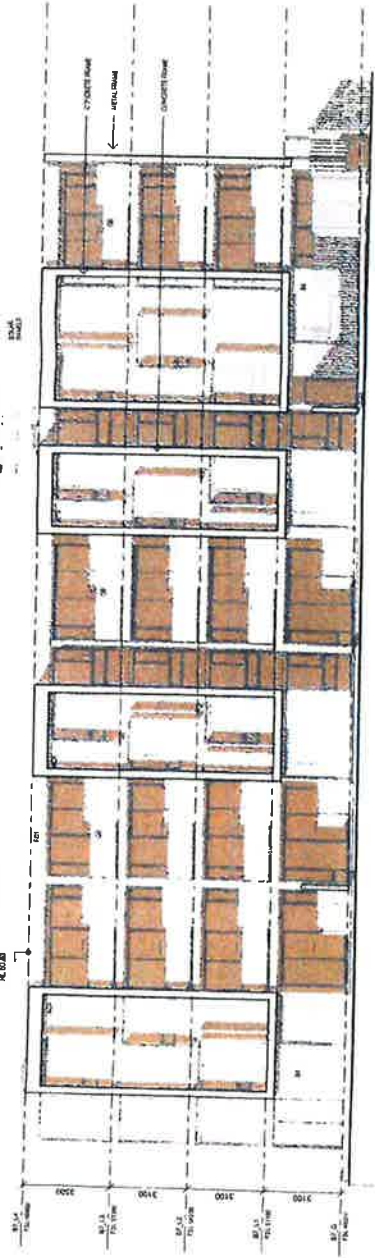
Project: CARDINAL FREEMAN VILLAGE VICTORIA PRECINCT 101 Victoria Street Melbourne, VIC 3000 Phone: 03 9593 1208		Drawing No: DA372105 Scale: 1:100 @ A1 Revision: E
Client: Shire of Cardinia Development Division		Date: 10/20/15
Architect: AJ+C 77 Myle Street, Chesham NSW 2022 Phone: 02 9331 1208		NOT FOR CONSTRUCTION



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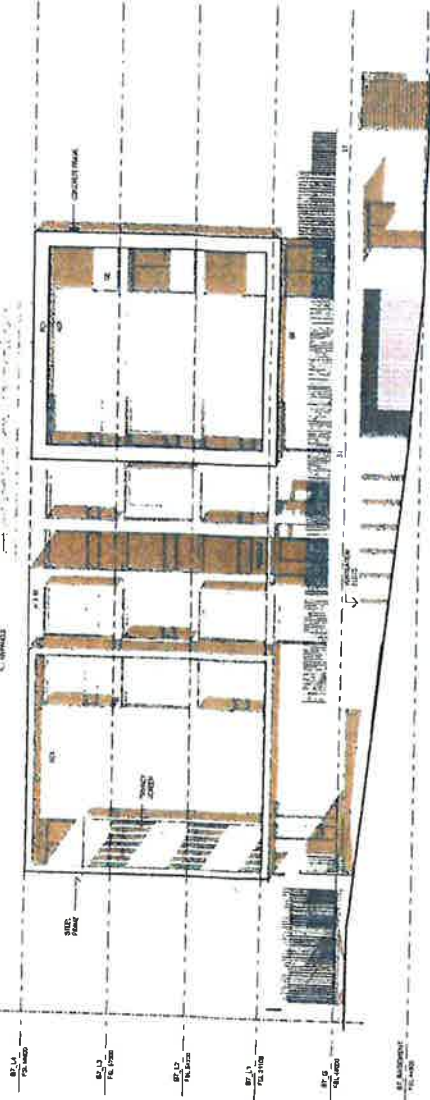
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1 BUILDING 7 EAST ELEVATION  
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2 BUILDING 7 NORTH ELEVATION  
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### EXTERNAL FINISHES LEGEND

- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
WHISPER WHITE
- EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
LEADMAN
- BK MASONRY AS SELECTED
- PC1 PAINTED CONCRETE DULUX WHISPER WHITE
- ACK PAINTED ACRYTEX FINISH IN SELECTED COLOURS
- GB GLAZED FRAMED BALUSTRADES

10.2015.8.1

Rev	Date	Description
1	10.2015.8.1	Issue for construction

Client  
Stoddard Development Division

Architect  
AJC  
75 South Street, Chesham NSW 2570 AUSTRALIA  
P 41 7 311 8222 N 41 7 311 8220  
A 61 2 953 782 220

Project  
CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT  
131 Mansfield Street  
Melbourne VIC 3000  
P 03 953 782 220

Drawing Title  
BUILDING 7 NORTH & EAST  
ELEVATIONS

Scale  
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Drawing No  
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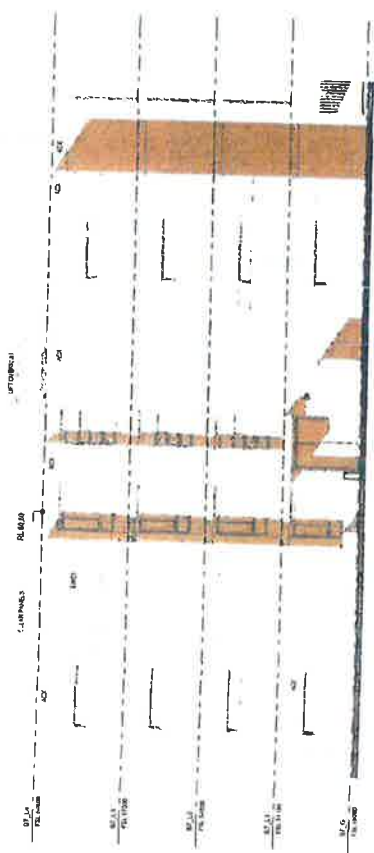
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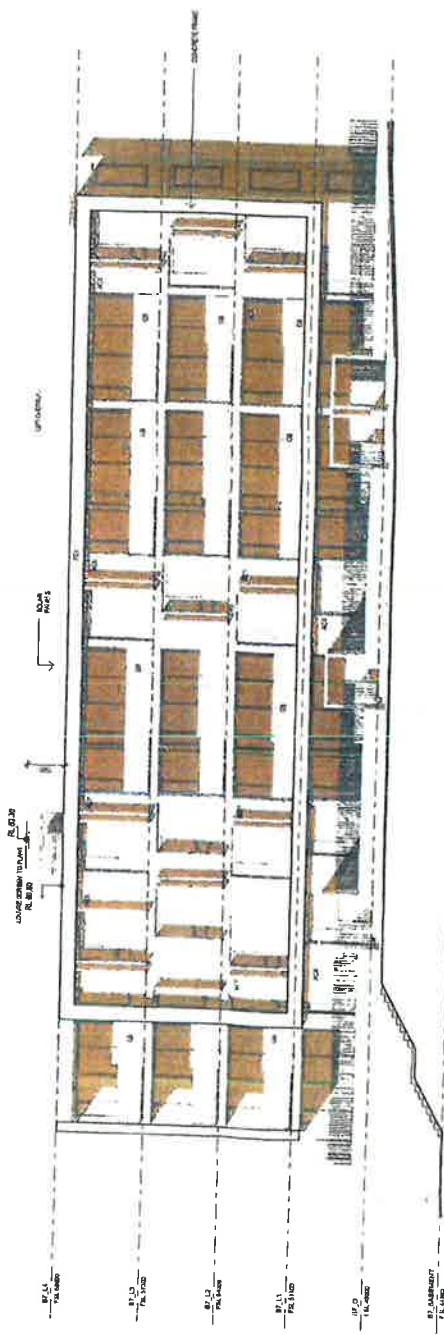


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- EXTERNAL FINISHES LEGEND**
- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
WHISPER WHITE
  - EW2 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS COLOUR TO MATCH DULUX  
LEADMAN
  - BK MASONRY AS SELECTED
  - PC1 PAINTED CONCRETE DULUX WHISPER WHITE
  - ACK PAINTED AGGREGATE FINISH IN SELECTED COLOURS
  - GB GLAZED FRAMED BALUSTRADES



1 BUILDING 7 SOUTH ELEVATION  
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2 BUILDING 7 WEST ELEVATION  
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Rev	Description	Date	By	Check
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AJC

12/18 Victoria Street  
Melbourne VIC 3000  
Australia  
P +61 3 931 8331  
F +61 3 931 8332  
A 90 33 053 192 256

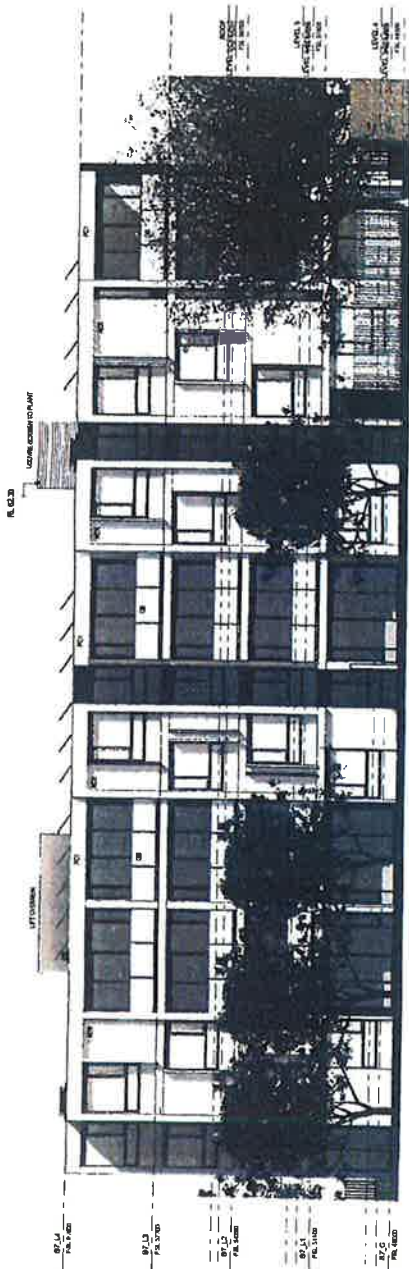
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CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT

12/18

Drawing Title  
BUILDING 7 SOUTH & WEST  
ELEVATIONS

Scale  
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E

NOT FOR CONSTRUCTION



(1) BUILDING 7 EAST ELEVATION  
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(2) BUILDING 7 NORTH ELEVATION  
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- EXTERNAL FINISHES LEGEND**
- EW1 EXTERNAL WALL CLADDING  
PREFINISHED PANELS WITH  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
WHISPER WHITE
  - EW2 EXTERNAL WALL CLADDING  
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LEADMAN
  - BK MASONRY AS SELECTED
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  - ACX PAINTED ACRTX FINISH IN SELECTED COLOURS
  - GB GLAZED FRAMED BALUSTRADES.

COUNCIL 2015

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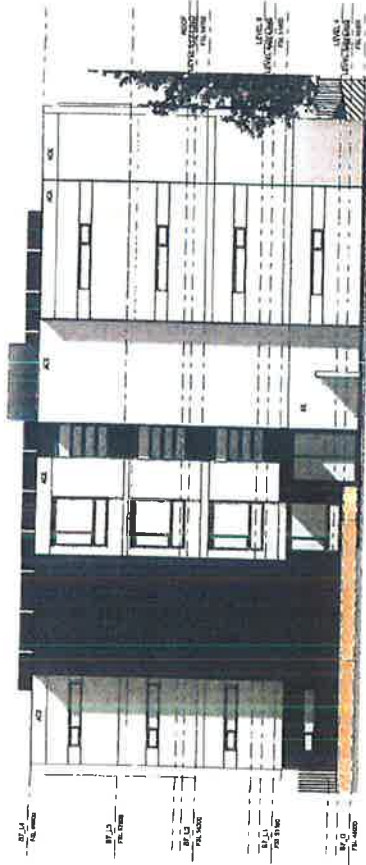
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Amford  
Council

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1. BUILDING 7 SOUTH ELEVATION  
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2. BUILDING 7 WEST ELEVATION  
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EXTERNAL FINISHES LEGEND

- EW1 EXTERNAL WALL CLADDING  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
WHISPER WHITE
- EW2 EXTERNAL WALL CLADDING  
EXPRESSED JOINTS. COLOUR TO MATCH DULUX  
LEADMAN
- BK MASONRY AS SELECTED
- PC1 PAINTED CONCRETE DULUX WHISPER WHITE.
- ACX PAINTED ACRYTEX FINISH IN SELECTED COLOURS
- GB GLAZED FRAMED BALUSTRADES

Scale  
1:100 @A1 DA373104

Drawing Title  
BUILDING 7 SOUTH & WEST  
ELEVATIONS COLOUR

Project  
CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT

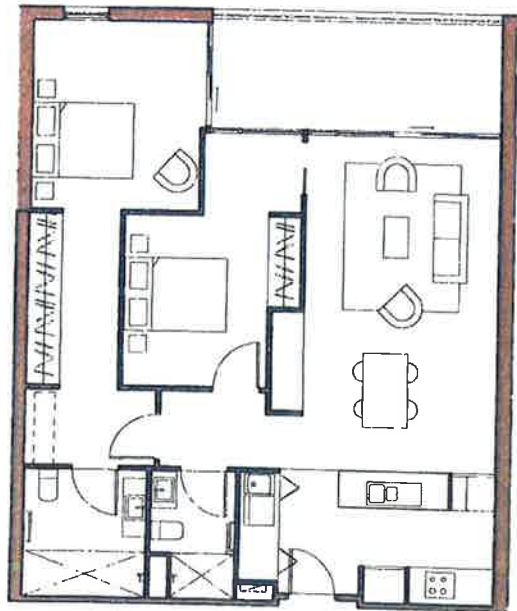
Client  
Stockland Development Division

Architect  
A+J+C  
Architects

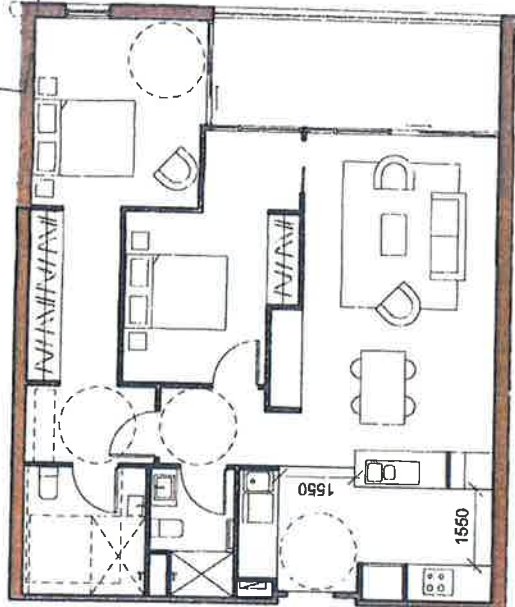
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NOT FOR CONSTRUCTION



1 TYPICAL APARTMENT 1 PRE-ADAPTATION  
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2 TYPICAL APARTMENT 1 POST-ADAPTATION  
1:100

137 Victoria Street - BASIX Inclusions

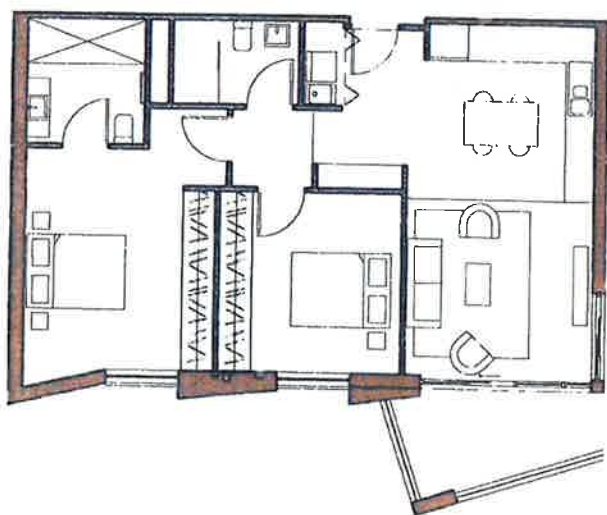
Glazing	Double / windows: Double glazed single pane glazing throughout U-value: 5.11 (4 or 5 star) SHGC: 0.57 (4 or 5 star) Green values are BASIX, total window values
Roof / ceiling insulation	Roof: Concrete roof - No insulation No colour nominated Ceiling: Plasterboard ceiling - R3.0 bulk insulation to all areas with roof or balcony above. Note: Use of ceiling insulation due to penetrations from downlights have been assessed for in accordance with BCA Technical Note 2 and assumed fluorescent or LED downlights
Wall / floor insulation	External Wall: Brick veneer with R1.5 bulk insulation No colour nominated Internal walls within units: Plasterboard on studs - no insulation Internal-balcony walls / corridors: Plasterboard on studs with R1.5 bulk insulation Floors: R1.5 insulation to all areas of open floor (including car-park, softy). Concrete floor covering included
Control air water tank	Typical Building 5 & 6 = 10 000L and Building 7 = 10 000L Collect run-off from: Building 5 = 70mm <sup>2</sup> , Building 6 = 90mm <sup>2</sup> , Building 7 = 95mm <sup>2</sup> Controlled by rain sensor Installation of all drains and common area landscaping
Control air water system	Control air water system with R1.5 (-25mm) insulation to program and supply mains. A DOWN electronic system per building is required to supplement the energy supply. Therefore a total of 30kW is required over the three buildings

Revisions A 30/07/2014 FOR INFORMATION B 20/08/2014 PRELIMINARY C 22/10/2014 REDESIGNED	Client Stockland Development Division	Project CARDINAL FREEMAN VILLAGE VICTORIA	Drawing Title TYPICAL APARTMENT 1 ADAPTATION	Scale 1:100 @A3	Drawing No. DA5101 C
<p>AJ.C. Architectural &amp; Construction 137 Victoria Street Melbourne VIC 3000 Phone: 03 9594 1234 Fax: 03 9594 1235</p>			<p>NOT FOR CONSTRUCTION</p>		

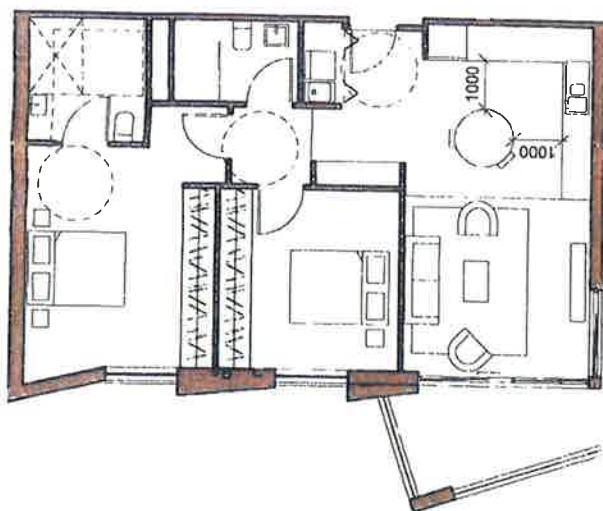


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### 11 TYPICAL APARTMENT 3 PRE-ADAPTATION



### TYPICAL APARTMENT 3 POST-ADAPTATION

[illegible][illegible]



STEEL FRAMES



PRIVACY SCREENS



STEEL AND GLASS CANOPIES



FEATURE METAL PANELS  
ENTRY CANOPIES



VOIDS BETWEEN  
LEVELS

EXTERIOR WALLS



SANDSTONE



MASONRY



MASONRY



MASONRY



EXTERNAL PANEL CLADDING  
SYSTEM



WALL PANEL TREATMENTS

COLOUR SCHEDULE

DULUX WHISPER WHITE



DULUX LEADMAN



DULUX SPANISH EYES

WALL PAINT COLOURS



FEATURE COLOURS - GATES



SUNSCREEN VERTICAL BLADES



Ashfield Council  
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21.05.18  
10.2015.58.1

Rev	Description	Date
1	Issue for tender	10/05/18
2	Revised to include all items	10/05/18
3	Revised to include all items	10/05/18
4	Revised to include all items	10/05/18
5	Revised to include all items	10/05/18

Client  
Stockland Development Division

Architect  
AJC  
Architects  
79 Mulla Street, Chippendale NSW 2008 AUSTRALIA  
P: +61 2 9311 8222 F: +61 2 9311 4000  
WWW.AJCARCHITECTS.COM

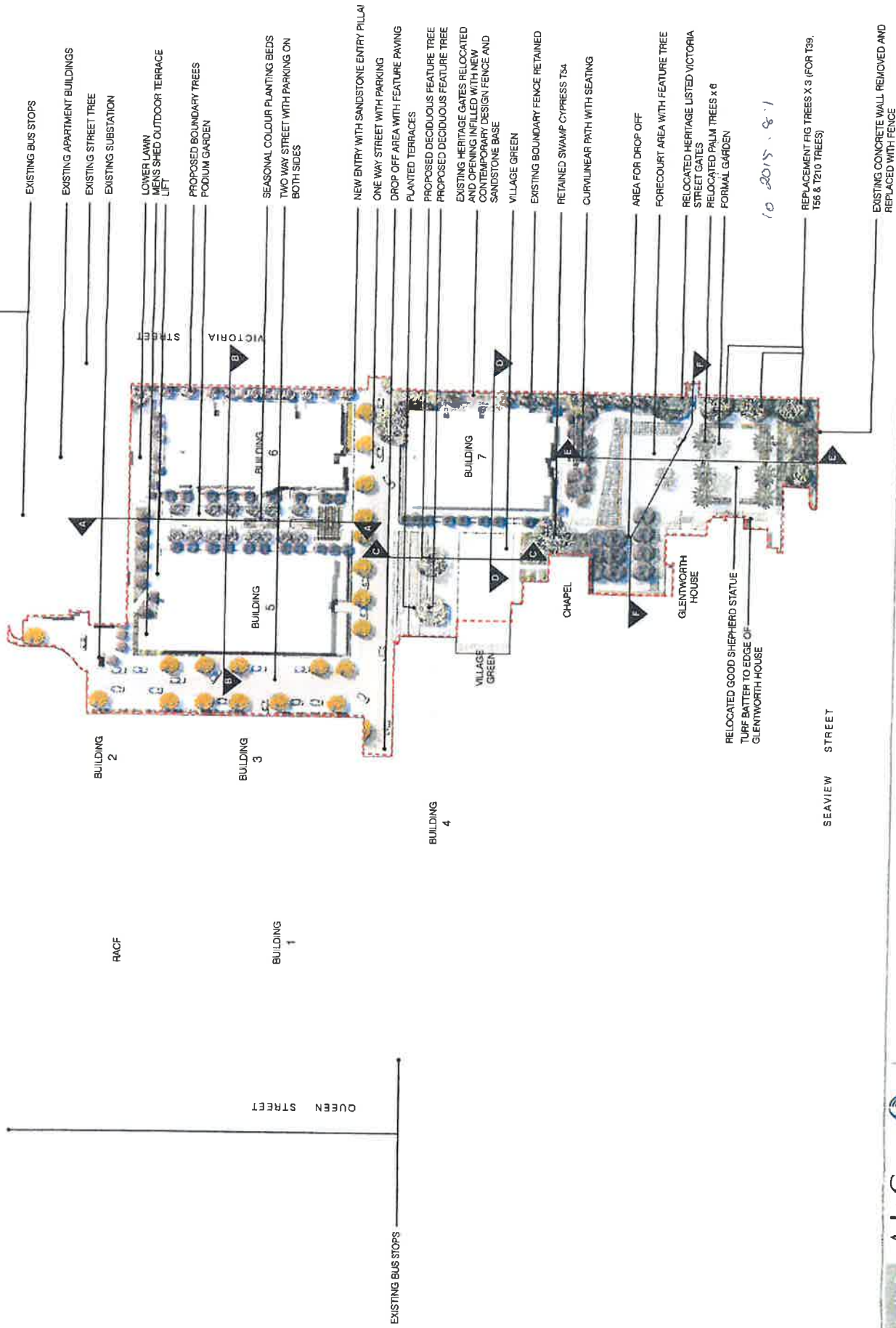
Project  
CARDINAL FREEMAN VILLAGE  
VICTORIA PRECINCT  
12018

Drawing Title  
EXTERNAL FINISHES AND  
COLOURS SCHEDULE

Scale  
Drawing No.  
DA9710  
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NOT FOR CONSTRUCTION

CLISSOLD STREET



CARDINAL FREEMAN VILLAGE | STAGE 02 - LANDSCAPE MASTERPLAN





CLISSOLD STREET

STREET

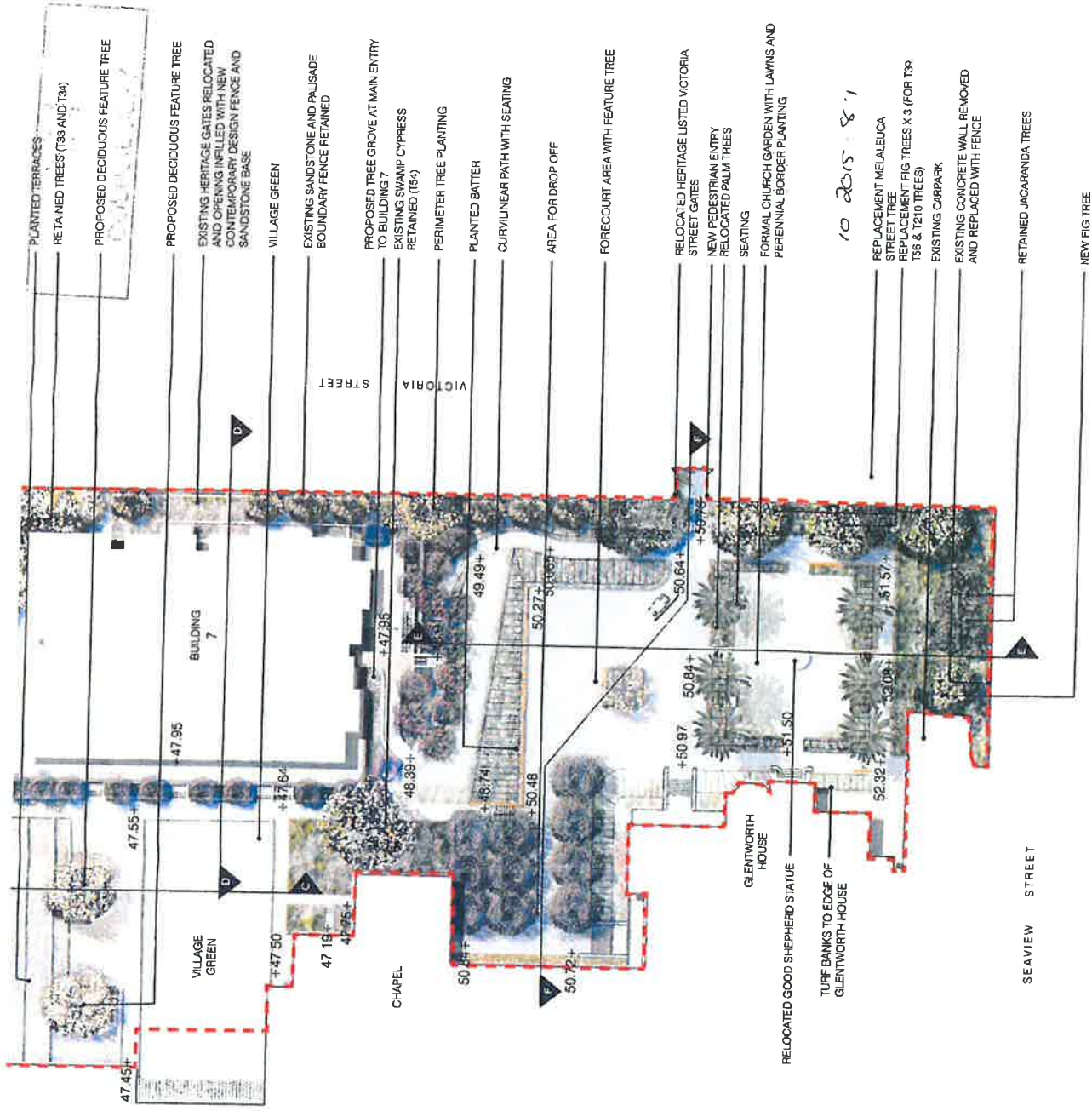
EXISTING BUS STOP

VICTORIA STREET

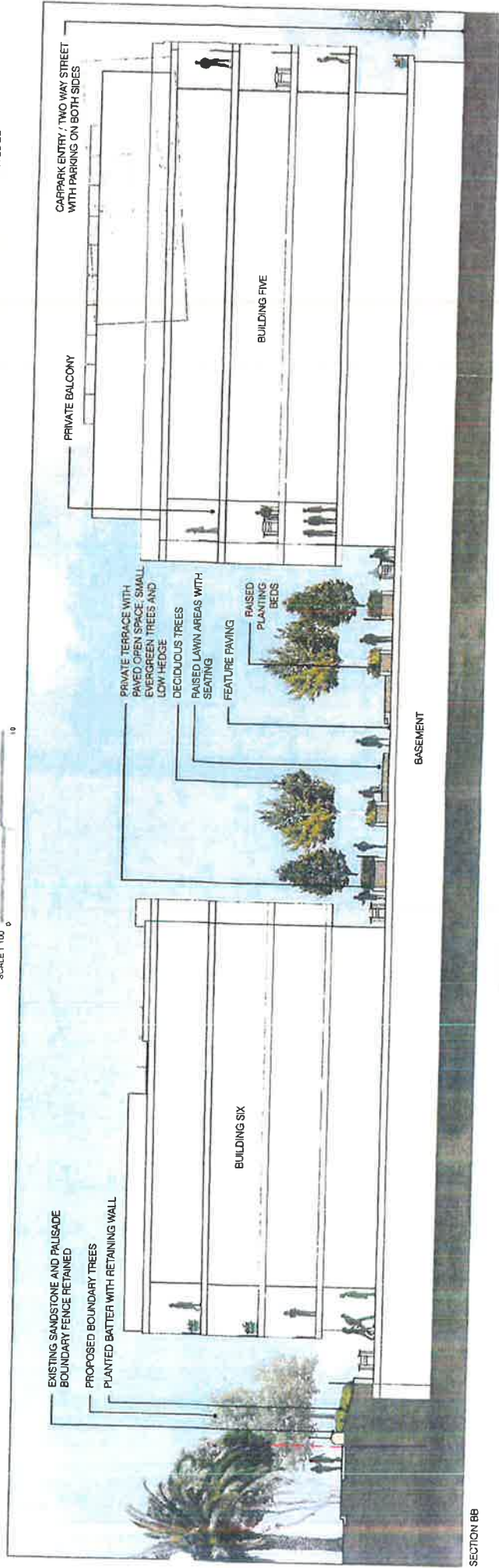
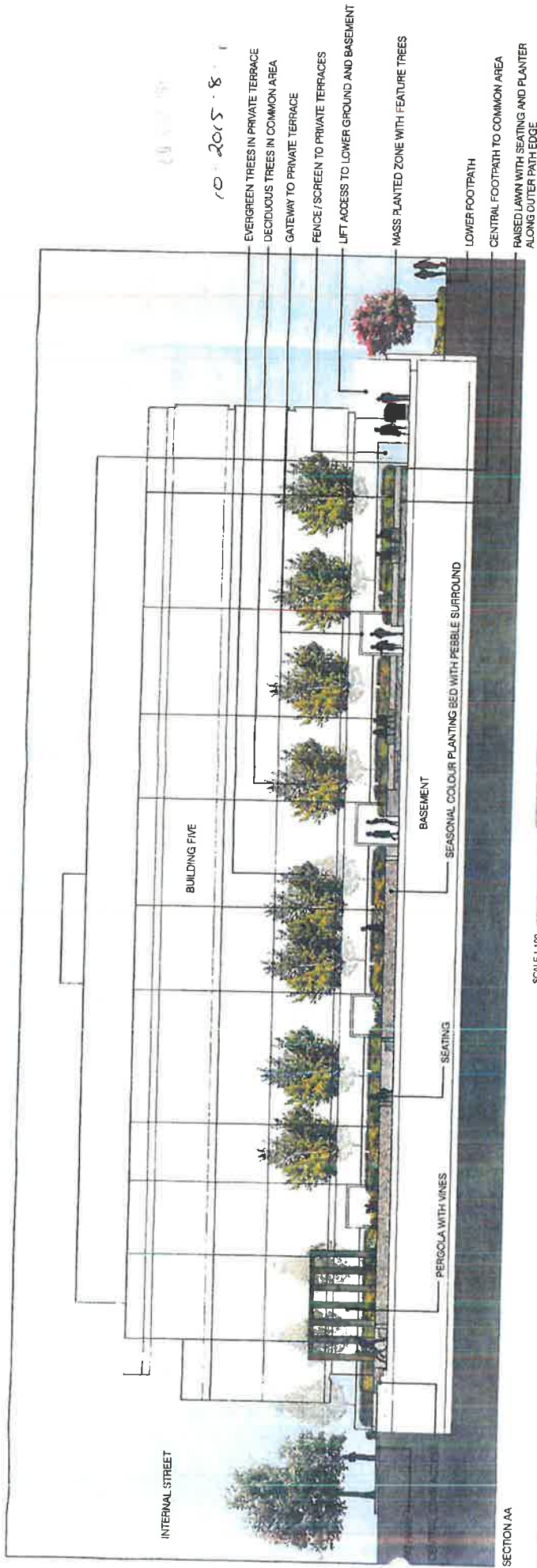


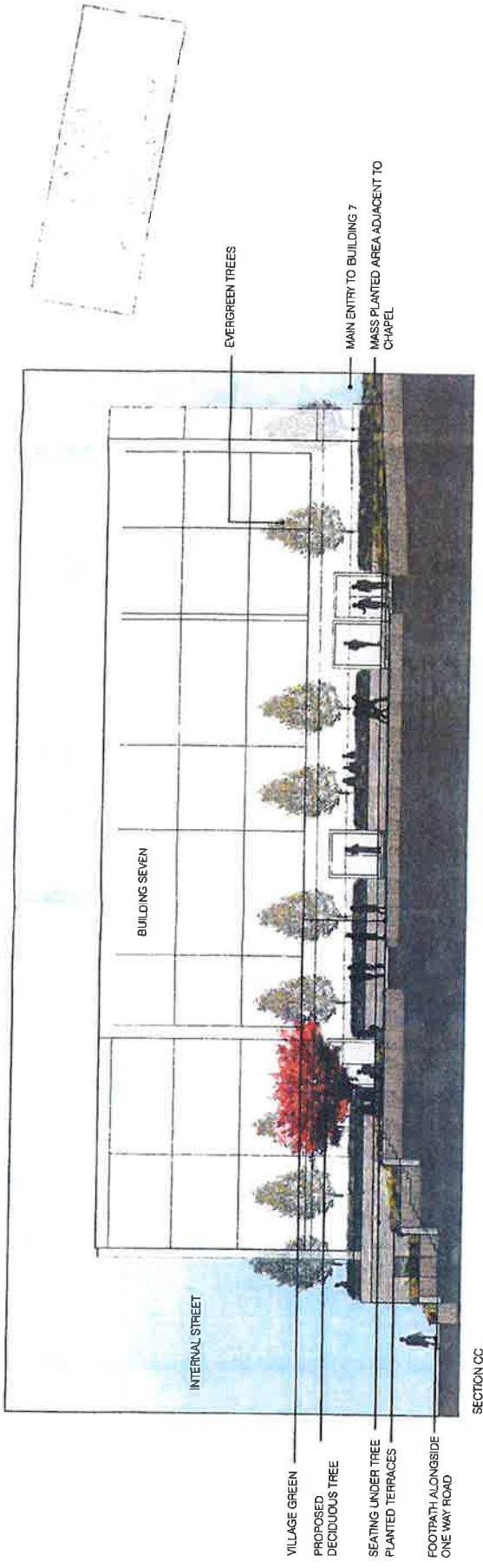
- EXISTING APARTMENT BUILDINGS
- EXISTING STREET TREE
- EXISTING SUBSTATION
- EXISTING SANDSTONE AND PALISADE BOUNDARY FENCE RETAINED
- LOWER LAWN
- MENS SHED OUTDOOR TERRACE
- BLADE WALL
- LIFT
- FEATURE PAVING
- EGRESS ROUTE
- RAISED LAWN AREAS WITH SEATING
- RAISED PLANTING BEDS
- TWO WAY STREET WITH PARKING ON BOTH SIDES
- CARPARK ENTRY
- EVERGREEN TREES
- RESIN BOUND PEBBLE SURROUND
- PRIVATE TERRACE WITH PAVED OPEN SPACE SMALL TREES AND LOW HEDGE
- DECIDUOUS TREES
- PROPOSED BOUNDARY TREES
- SECONDARY ACCESS
- SEASONAL COLOUR PLANTING BEDS
- EGRESS ROUTE
- PLANTED BATTER WITH RETAINING WALL
- PERGOLA STRUCTURE WITH VINES
- BUILDING 6 MAIN ENTRY
- RAMP TO COURTYARD LEVEL
- BUILDING 5 MAIN ENTRY
- PROPOSED DECIDUOUS STREET TREES
- NEW ENTRY WITH SANDSTONE ENTRY PILARS
- ONE WAY STREET WITH PARKING
- DROP OFF AREA WITH FEATURE PAVING
- T83 MELALEUCA QUINQUENARIA
- T84 LOPHOSTEMON CONFERTUS





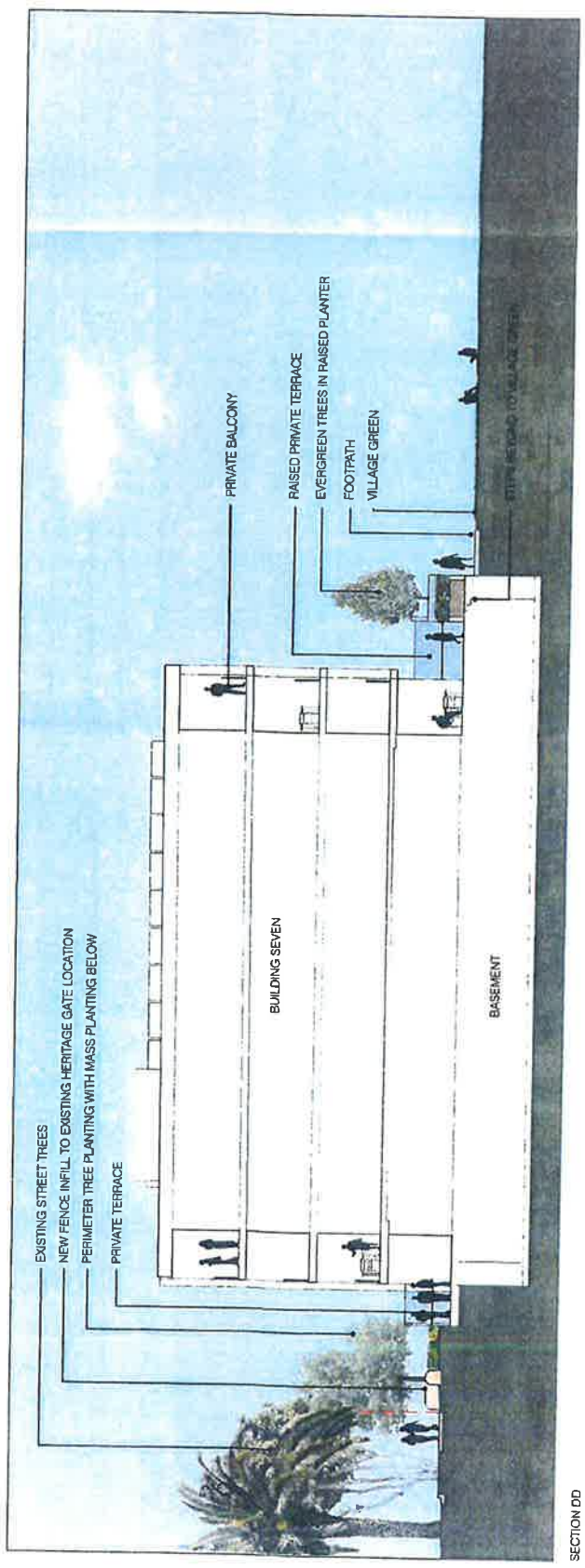






SECTION CC

SCALE 1:100

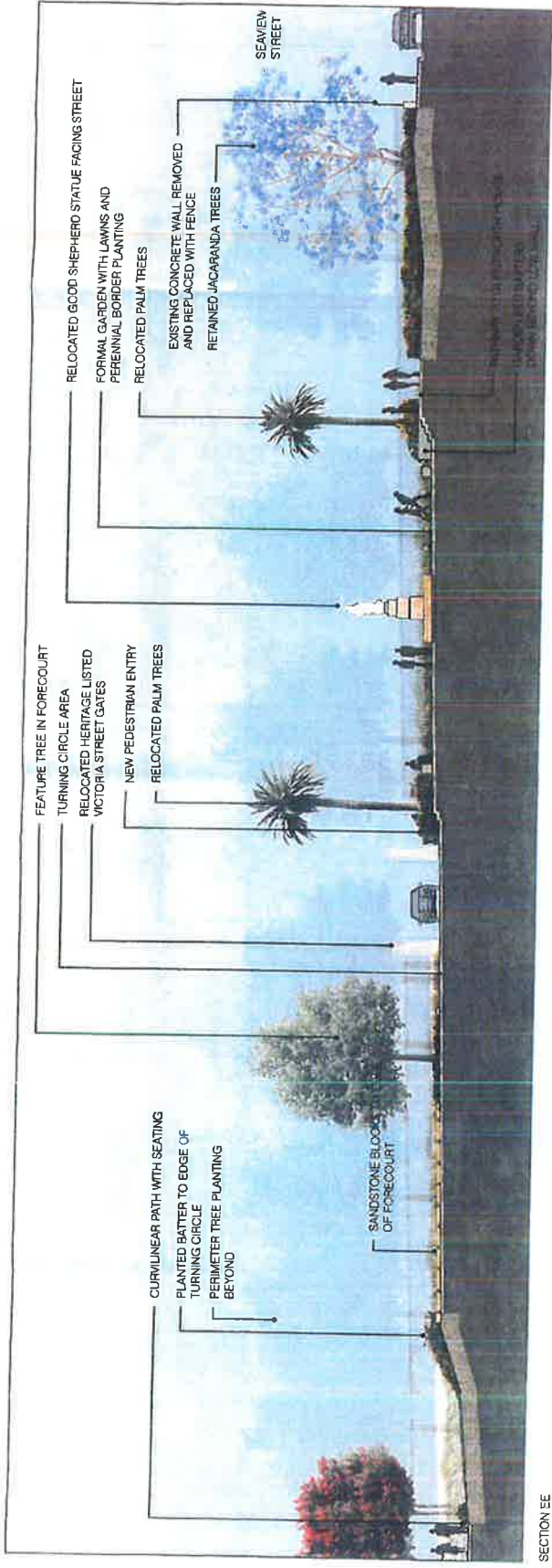


SECTION DD

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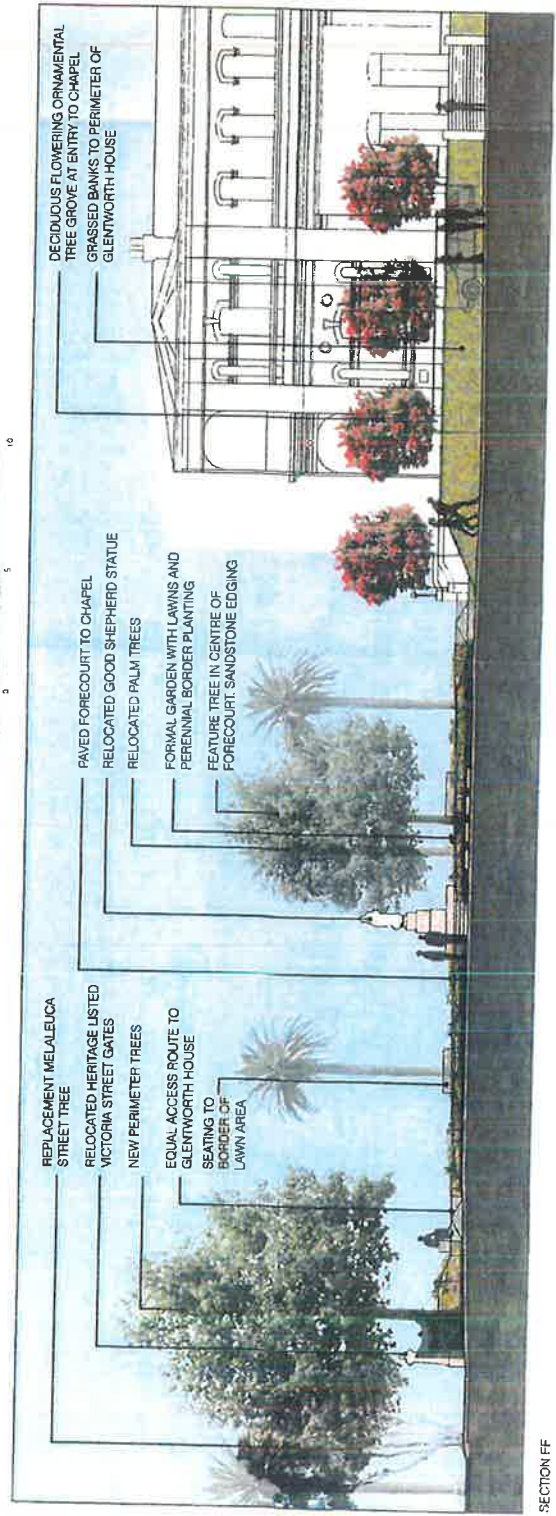
10 2015 8





SECTION EE

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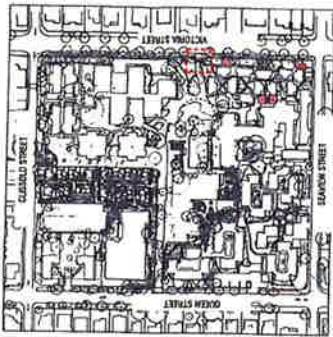
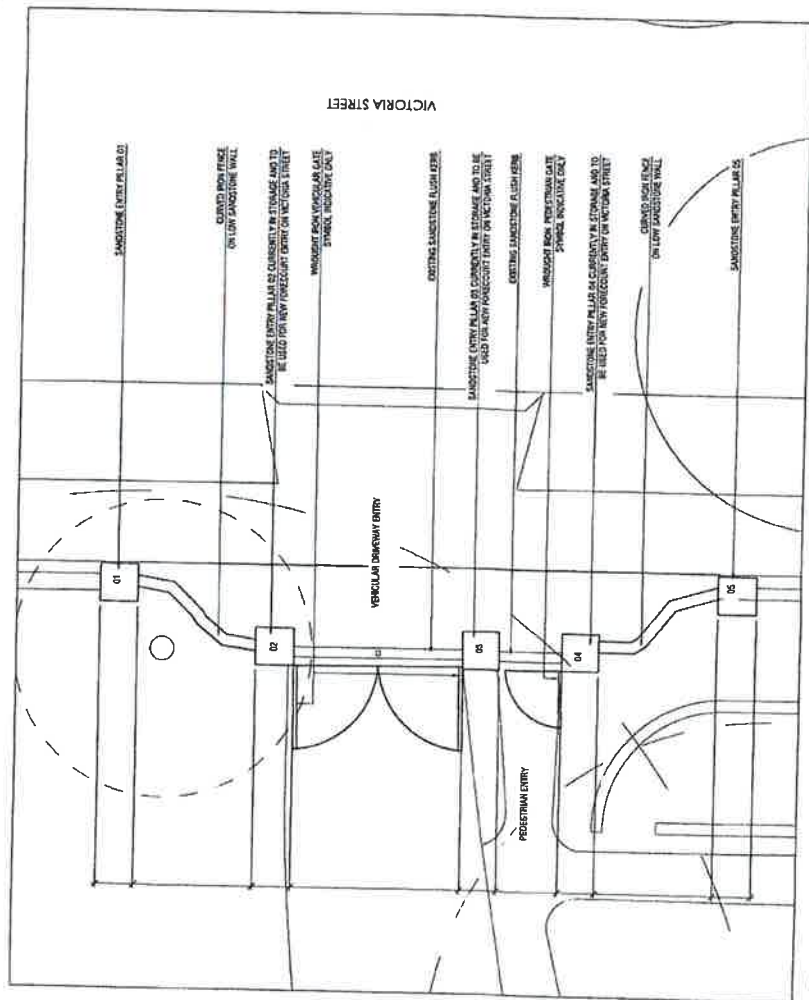


SECTION FF

SCALE 1:100 0 5 10

10.2015.8.1

# CARDINAL FREEMAN VILLAGE ASHFIELD NSW HERITAGE GATE RELOCATION



NOTE:  
EXITING PILARS + GATES AND SANCTIONS FENCE TO BE  
STORED UNTIL INSTALLATION IN NEW LOCATION IN STAGE 3  
ALL RELOCATED ITEMS ARE TO BE HANDLED AS DETAILED  
IN THE STONE MASONRY METHOD OF CONSTRUCTION

10.2015.8.1







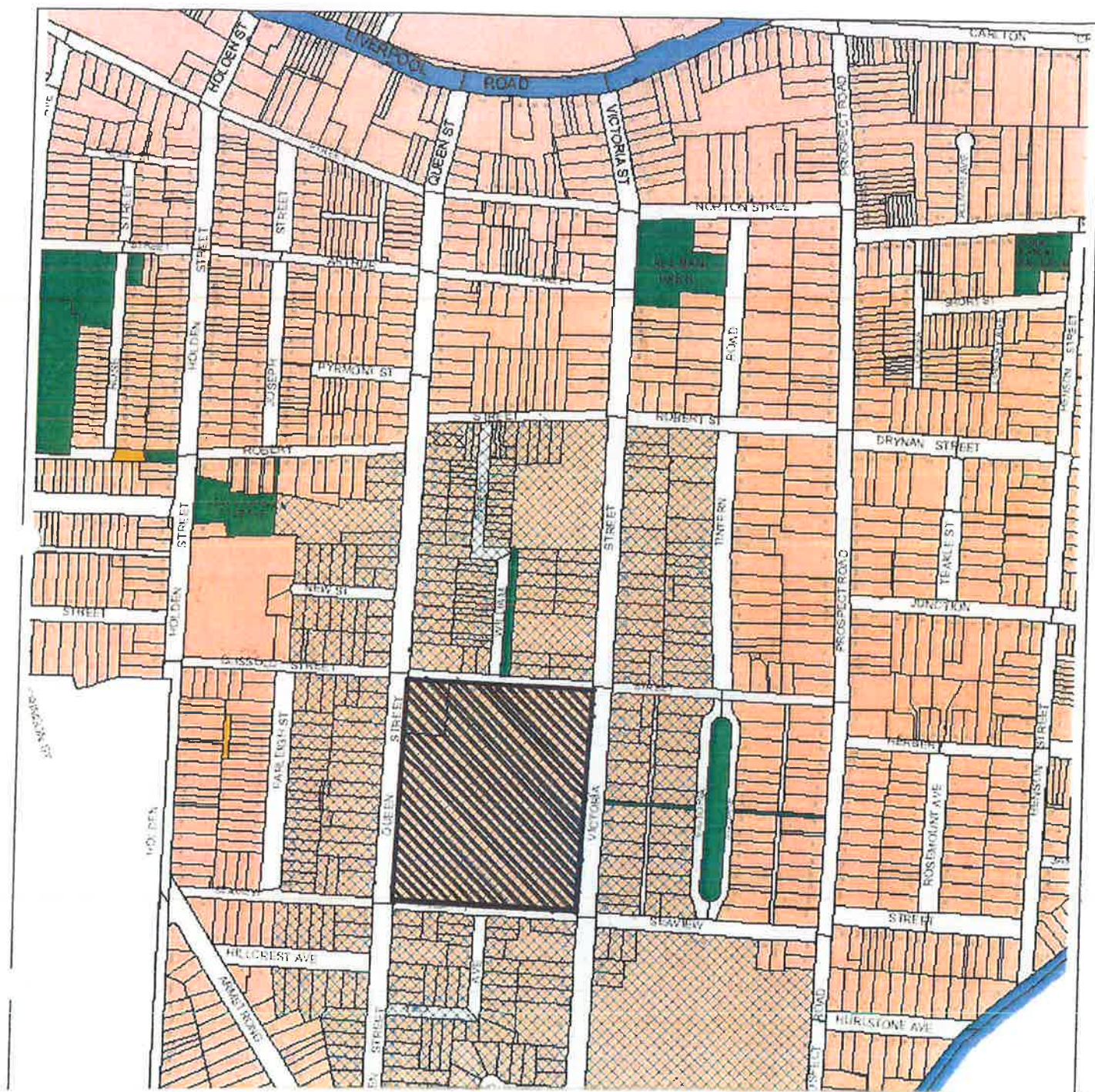
02 COSTING GATE RELOCATION KEY PLAN  
NTG

10/2015-8.1





## **Attachment 2- Locality Map**



## Location Plan

Site



Notification Area



Objectors



## **Attachment 3- Heritage Advisor Comments**





## DEVELOPMENT SERVICES HERITAGE ADVISOR'S REFERRAL COMMENTS

<b>ADDRESS:</b>	137 Victoria Street ASHFIELD, 8-10 Clissold Street ASHFIELD	<b>File No:</b> <b>10.2015.8.1</b>
<b>ADVISOR</b>	Robert Moore	
<b>DATE</b>	29 July 2015	
<b>STATUS</b>	Heritage Item	
<b>DESCRIPTION</b>	Cardinal Freeman Village - Stage 2 comprising demolition of some structures and construction of 3 new buildings containing 106 ILUs and associated works	
<b>PREVIOUS COMMENTS</b>		
<input type="checkbox"/>	HIS/CMP recommended for archiving in library	
Note: These comments relate to heritage issues only. They do not include a planning review. Planning comments will, however, be provided separately in relation to Pre-lodgement Applications or Provisional Development Applications.		

The application has been reviewed in respect of heritage issues and has been assessed as follows:

<input checked="" type="checkbox"/>	<b>Acceptable as lodged</b>
<input type="checkbox"/>	<b>Acceptable with the following Conditions of Consent Applied:</b>
<input type="checkbox"/>	<b>Acceptable with the following amendments to the application:</b>
<input type="checkbox"/>	<input type="checkbox"/> Application to be returned to Heritage Advisor for review after amendments
<input type="checkbox"/>	<input type="checkbox"/> Planner may assess amendments
<input type="checkbox"/>	<b>Additional information is required as follows:</b>
<input type="checkbox"/>	<b>Not acceptable</b>
<b>Discussion:</b> Further to our telephone contact I confirm my position in relation to the former entrance gate pillars to the old Victoria Street entrance to the grounds of the mansion/convent. I expressed concern that the proposed storage of the dismantled pillars off-site - before their return and reconstruction in their new location - would lead to the heightened risk of the pillars' loss, due to theft or to simple "misplacement". This has occurred many times in similar circumstances  As you know I have consistently opposed the relocation of the pillars as a poor conservation outcome, preferring that the pillars should remain in their present, original locations, but this has not been accepted. I understand that the work plan now proposed envisages that the pillars will not undergo some intermediate storage stage, but be simply transferred from their present location to the prepared new site. This is much to be preferred and will reduce the risk of loss or damage. On principle the relocation of the gates is not desirable, but the proposed sequence of events in their relocation is now improved over the earlier arrangements.	

Robert Moore

## **Attachment 4- SEPP 65 Officer Comments**

**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN QUALITY OF RESIDENTIAL FLAT DEVELOPMENT**

**DEVELOPMENT APPLICATION : 8 /2015**

**PROPERTY: 137 Victoria Street Ashfield (eastern side of site along Victor ia Street).**

**FROM : Senior Strategic and Projects Planner**

**REGULATIONS PERTAINING TO SEPP 65**

Column 2 contains Council officer comments.

Column 1	Column 2
<p><b>EPA Regulation 50 (1A)</b></p> <p>(1A) A development application that relates to a residential flat development, and that is made on or after 1 December 2003, must be accompanied by a design verification from a qualified designer, being a statement in which the qualified designer verifies:</p> <p>(a) that he or she designed, or directed the design, of the residential flat development, and</p> <p>(b) that the design quality principles set out in Part 2 of <i>State Environmental Planning Policy No. 65 -- Design Quality of Residential Flat Development</i> are achieved for the residential flat development.</p>	<p>A “Design Verification Statement” has been submitted stating that the design has been produced by a “qualified designer” (registered Architect).</p> <p>Notwithstanding compliance with SEPP 65, there are town planning “contextual matters” that must be evaluated under statutory considerations, as required in the “Seniors SEPP” (being the “SEPP , Housing for Seniors or People with a Disability 2004”), Division 2, “Design Principles”. Since the application is subject to assessment under the “Seniors SEPP”, the assessment town planner will make conclusions as to whether the proposal is compatible with surrounding development and can be supported.</p>
<p><b>EPA Regulations Schedule 1, 2(b)</b></p> <p>(5) In addition, a statement of environmental effects referred to in subclause (1)(c) must include the following, if the development application relates to residential flat development to which <i>State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development</i>,</p> <p>(b) drawings of the proposed development in the context of surrounding development, including the streetscape,</p> <p>(c) development compliance with building heights, building height planes, setbacks and building envelope controls (if applicable) marked on plans, sections and elevations,</p> <p>(d) drawings of the proposed landscape area, including species selected and materials to be used, presented in the context of the proposed building or buildings, and the surrounding development and its context,</p> <p>(e) if the proposed development is within an area in which the built form is changing, statements of the existing and likely future contexts,</p> <p>(f) photomontages of the proposed development in the context of surrounding development,</p> <p>(g) a sample board of the proposed materials and colours of the façade,</p> <p>(h) detailed sections of proposed facades,</p>	<p>Generally, the required information has been submitted.</p>

**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN QUALITY OF RESIDENTIAL FLAT DEVELOPMENT**

**DEVELOPMENT APPLICATION : 8 /2015**

**PROPERTY: 137 Victoria Street Ashfield (eastern side of site along Victor ia Street).**

**FROM : Senior Strategic and Projects Planner**

**SEPP 65 –ASSESSMENT TABLE**

Column 2 contains officer comments.

Column 1	Column 2
<p><b><u>Clause 1 Name of Policy</u></b></p> <p>This policy is State Environmental Planning Policy No 65 – Design Quality of Residential Flat Development</p>	
<p><b><u>Clause 2 Aims, objectives, etc.</u></b></p> <p>2. (1) This Policy aims to improve the design quality of residential flat development in New South Wales.</p> <p>(2) This Policy recognises that the design quality of residential flat development is of significance for environmental planning for the State due to the economic, environmental, cultural and social benefits of high quality design.</p> <p>(3) Improving the design quality of residential flat development of New South Wales:</p> <p>(a) to ensure that it contributes to the sustainable development of New South Wales:</p> <p>(i) by providing sustainable housing in social and environmental terms, and</p> <p>(ii) by being a long-term asset to its neighbourhood, and</p> <p>(iii) by achieving the urban planning policies for its regional and local contexts, and</p> <p>(b) to achieve better built form and aesthetics of buildings and of the streetscapes and the public spaces they define, and</p> <p>(c) to better satisfy the increasing demand, the changing social and demographic profile of the community, and the needs of the widest range of people from childhood to old age, including those with disabilities, and</p> <p>(d) to maximise amenity, safety and security for the benefit of its occupants and the wider community, and</p> <p>(e) to minimise the consumption of energy from non-renewable resources, to conserve the environment and to reduce greenhouse gas emissions.</p> <p>(4) This Policy aims to provide:</p> <p>(a) consistency of policy and mechanisms across the State, and</p> <p>(b) a framework for local and regional planning to achieve identified outcomes for specific places.</p>	<p>Noted</p>
<p><b><u>Clause 6 Relationship with other environmental planning instruments</u></b></p> <p>In the event of an inconsistency between this Policy and another environmental planning instrument, whether made before or after this Policy, this Policy prevails to the extent of the inconsistency.</p>	<p>The site has a “Concept Plan” approval , and is also affected by the by the “Seniors SEPP” which is therefore the primary planning instrument for consideration given the application is for aged care housing. It’s Division 2, “Design Principles”, are key considerations, see comments below under Context.</p>

<p><b><u>Clause 7</u></b> <b><u>Design quality principles</u></b></p> <p>The design quality principles for residential flat development are the principles set out in this Part.</p>	<p>Noted.</p>
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**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN  
QUALITY OF RESIDENTIAL FLAT DEVELOPMENT**

**DEVELOPMENT APPLICATION : 8 /2015**

**PROPERTY: 137 Victoria Street Ashfield (eastern side of site along Victor ia Street).**

**FROM : Senior Strategic and Projects Planner**

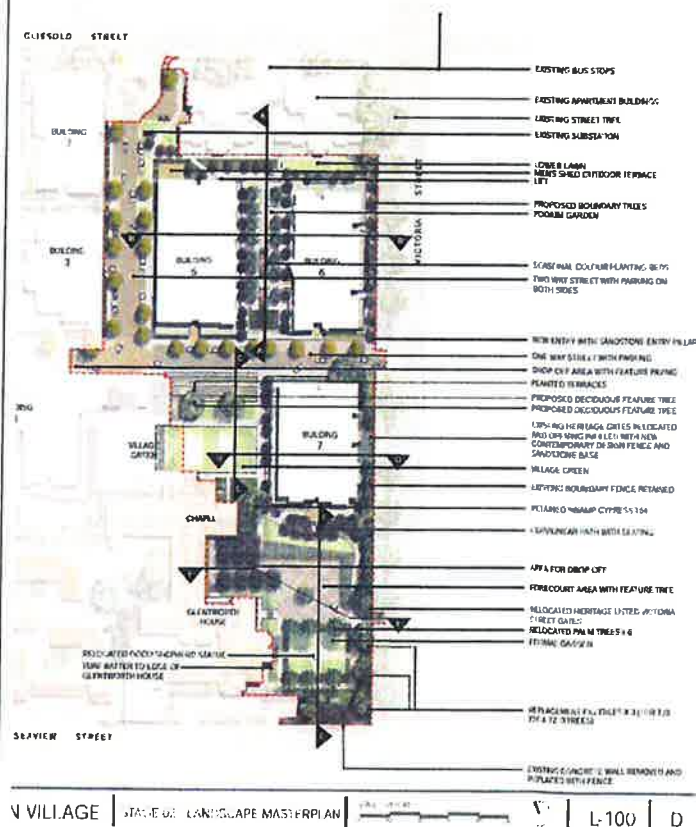
<p><b>Clause 8</b> <b><u>Introduction to the principles</u></b></p>	<p>Noted</p>
<p><b>Clause 9 Principle 1: Context</b></p>	<p>Given there is an overlap between “SEPP 65” and the SEPP Housing for Seniors or People with a Disability 2004 (“Seniors SEPP”), the following needs to noted.</p> <p>Noting the application is predominantly for “seniors housing”, the “Seniors SEPP” is the primary planning instrument for evaluating the proposal, which for flat buildings has various design standards and considerations.</p> <p>The Senior’s SEPP under “Division 2” Design Principles has clauses which are intrinsically about “Context” (as found in SEPP 65), and are key considerations for examining the parts of the proposal, and which are considerations not overridden by the Concept Plan approval, which might be “silent” on this significant matter. The town planner, pursuant to the Senior’s SEPP will need to assess whether the development sympathetically “fits in” with the neighbouring environment. The entire site has a heritage item listing - it is noted that at a basic level, the simple axial site layout positioning of the buildings has been determined by the relationship of the proposed open space positions to the historic buildings and historic landscapes to the south (refer to the extract of the landscape architects drawings below). The buildings are then simply modelled in the particular style shown on the elevations. Therefore, Council’s heritage architect will comment on these “heritage relationships” within the site.</p> <p>A key contextual ( SEPP65 -Context Principle) matter being influenced externally to the site, is that Victoria Street is a heritage item, and area which includes the entire spatial composition of the street including it’s layout and street tree plantings, which are all straightforward to observe. The interface between the development and Victoria Street as portrayed on the Landscape Architects drawings and the proposal’s perspectives (see below), is to have a densely planted front garden area in terms of having continuous tree planting. This is necessary to ameliorate the predictable “angular hard edged” composition of the buildings, see elevation below, which is evidently in high contrast and alien to the existing streetscape, and also to the “heritage qualities” of the street.</p> <div data-bbox="454 1478 1380 1758"> </div> <p>② BUILDING EAST ELEVATION COLOUR</p>

**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN  
QUALITY OF RESIDENTIAL FLAT DEVELOPMENT**

**DEVELOPMENT APPLICATION : 8 /2015**

**PROPERTY: 137 Victoria Street Ashfield (eastern side of site along Victoria Street).**

**FROM : Senior Strategic and Projects Planner**



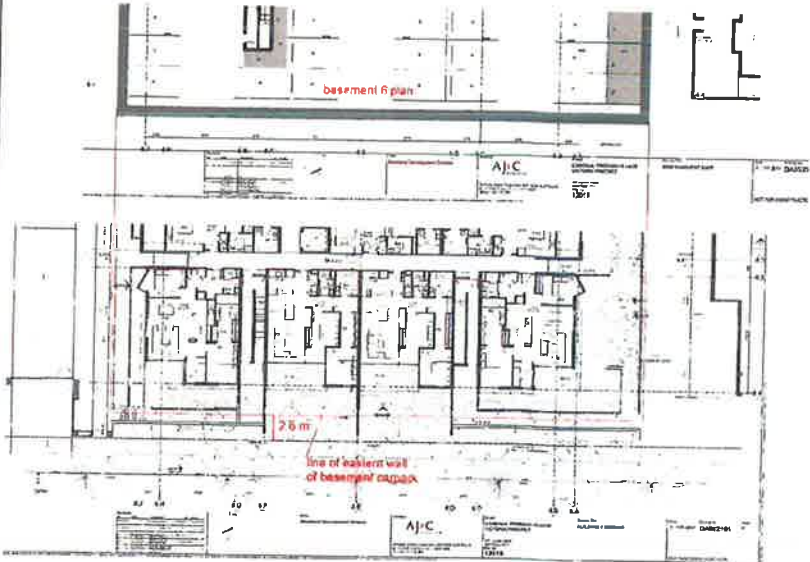
The landscape treatment shown above however is not reflected in the Architect's drawings (as originally submitted) for the foreground area (front garden) of Building 6 (see plans below), due to various pathways being located where there should be deep soil areas, and so these pathways will need to be conditioned to be moved to the east to enable a wide deep soil area for those trees. Resolution of this is a serious matter, noting that the basement carpark (under described in terms of its location to the Victoria Street boundary) appears to extend past the building line into the front garden zone along Victoria Street. Normally in a R2 - Low Density Zone. Such a basement slab intrusion into a front garden would usually not be entertained, is not allowed for in any of Council's controls, not allowed for in any of the Concept Plan

**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN  
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**DEVELOPMENT APPLICATION : 8 /2015**

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**FROM : Senior Strategic and Projects Planner**

	<p>approval conditions, and is normally very poor urban design.</p> <p>To address this a condition could be applied to any potential approval along the lines of :</p> <p><i>For the front external area shown on drawing DA 362101, for Building 6 -Ground level, the external stairways and pathways within the front building line along Victoria Street shall be moved to the east to enable a deep soil zone of approximately 2.5 meters and the planting of continuous large trees. The terraces of the adjoining apartments numbers, being numbers 6.0.06 and 6.0.03 shall be reduced in size to enable this, and their privacy screens adjusted to suit.</i></p> 
<b>Clause 10 Principle 2: Scale</b>	The town planner will assess this pursuant to the Concept Plan approval.
<b>Clause 11 Principle 3: Built Form</b>	The town planner will assess this pursuant to the Concept Plan approval.
<b>Clause 12 Principle 4: Density</b>	The town planner will assess this pursuant to the Concept Plan approval.
<b>Clause 13 Principle 5: Resource, energy and water efficiency</b>	<p>Most of the apartments do not have a northern orientation, which is normally a starting point to enable passive solar design.</p> <p>Some photovoltaic devices are proposed for the buildings.</p> <p>It is understood a BASIX compliance certificate has been submitted which demonstrates technical compliance with this SEPP 65 Principle.</p>
<b>Clause 14 Principle 6: Landscape</b>	<p>The proposal is subject to the Concept Plan approval and the "Seniors SEPP" requirements.</p> <p>See comments above under Context regarding the front garden areas along Victoria Street.</p>



**COMPLIANCE TABLE –STATE ENVIRONMENTAL PLANNING POLICY NO 65 – DESIGN  
QUALITY OF RESIDENTIAL FLAT DEVELOPMENT**

**DEVELOPMENT APPLICATION : 8 /2015**

**PROPERTY: 137 Victoria Street Ashfield (eastern side of site along Victoria Street).**

**FROM : Senior Strategic and Projects Planner**

<b>Clause 15 Principle 7: Amenity</b>	Given the Concept Plan approval, and the outcomes this results in, the amenity is satisfactory with buildings/apartments having adequate separation distances and access to sunlight in either the mornings or afternoons.
<b>Clause 17 Principle 8: Safety and security</b>	Most public spaces will be under surveillance.
<b>Clause 16 Principle 9: Social dimensions and Housing Affordability</b>	<p><u>Social</u></p> <p>The proposal is on behalf of a type of “community housing provider”, with the housing supplied being part of the site owners philanthropic social contribution to society.</p> <p>The proposal is mostly for self care “standard apartments”, but designed to comply with the “access” requirements of the “Seniors SEPP”. In addition, future occupants will have access to various medical facilities in the existing complex, and have access to communal entertainment rooms and so have more social interaction.</p> <p><u>Access</u></p> <p>The “Seniors SEPP” has specific design standards for access for people with disabilities, including standards for interior design of rooms, and assessment is required under that SEPP.</p>

<b>Clause 18 Principle 10: Aesthetics</b>	<p><u>“Seniors SEPP”</u></p> <p>As explained above under “Context” the town planner, pursuant to the Senior’s SEPP will need to assess whether the development sympathetically “fits in” with the neighbouring environment.</p> <p><u>SEPP 65 considerations</u></p> <p>As commented on under Context, the architectural composition of the buildings and whether it is satisfactory, will be determined in the first instance by their impacts on the heritage significance of the site including impacts on various heritage curtilages, as advised by Council’s heritage adviser.</p>
<p><b>Clause 30</b></p> <p>In determining a development application for consent to carry out development for the purpose of a residential flat building, a consent authority is to take into consideration.</p> <p>(a) the advice obtained in accordance with subclause (1)</p> <p>(b) the design quality of the residential flat building when evaluated in accordance with the design quality principles, and</p> <p>(c) the publication Residential Flat Design Code (RFDC) (Department of Urban Affairs and Planning and NSW Government Architect 1998)</p>	<p>The Residential Flat Design Code has been noted where relevant.</p> <p>The Draft SEPP 65 amendments and Apartment Design guidelines have been noted.</p> <p><u>Conclusion</u></p> <p>The application is for seniors housing and is affected by a hierarchy of numerous planning controls .</p> <p>If the application was to be found satisfactory and recommended for approval, pursuant to SEPP 65, conditions should be applied to ensure that the front garden area along Victoria Street eventuates as portrayed in the Landscape Architect’s drawings for the reasons given under the Context Principle above.</p> <p>END</p>



## **Attachment 5- NSW Police Comments**

**Ashfield Local Area Command**  
14 Victoria Street,  
Ashfield NSW 2131  
Telephone 02 9797 4099  
Facsimile 02 9797 4011

01 July 2015  
Shakeeb Mushtaq  
**Specialist Planner**  
**Ashfield Council**



**NSW Police Force**

**RE: Development Application DA 2015.8.1**

**Proposed Stage 2 involving demolition of buildings C & D, 12 villas and the hostel building, construction of three buildings containing 106 Independent Living Units of part 4 and part 5 storey's over basement car parking, landscaping, realignment of internal street network, establishment of pedestrian pathways and the reinstatement of heritage gates.**

Thank you for the opportunity to comment on DA 2015.8.1 137 Victoria Street Ashfield.

I have reviewed the proposal based on the documents provided to me. However, Ashfield Police require an accompanied site visit prior to the issue of an Occupation Certificate to conduct a final risk assessment of the buildings layout.

I have made some recommendations and conditions of construction to the development application.

Developers are to consider the risk factors of the building's design and make the necessary changes to its design where the occupants' safety and security is concerned. The conditions provided by Police are based on criminal statistics involving Apartment Buildings. Therefore, should the Developer become resistant to Police recommendations, it is suggested that a meeting with Council, Developers and Police take place to discuss alternative ways to design-out-crime.

The principles of Crime Prevention Through Environmental Design (CPTED) need to be taken into consideration when reviewing the safety and security of the facility. Crime Prevention through Environmental Design (CPTED) is a crime prevention strategy that focuses on the planning, design and structure of cities and neighbourhoods. It reduces opportunities for crime by using design and place management principles that reduce the likelihood of essential crime ingredients from intersecting in time and space. The following risks have been identified and rated for this development.

- Robbery – High Risk
- Break & Enter – Moderate Risk
- Malicious damage – Moderate Risk
- Steal from retail store – Moderate Risk
- Frauds (including ID fraud due to mail theft) – High Risk

Predatory offenders often make cost-benefit assessments of potential victims and locations before committing crime. CPTED aims to create the reality (or perception) that the costs of committing crime are greater than the likely benefits. This is achieved by creating social and environmental conditions that:

- Maximise risk to offenders (increasing the likelihood of detection, challenge and apprehension)



- Maximise the effort required to commit crime (increasing the time, energy and resources required to commit crime)
- Minimise the actual and perceived benefits of crime (removing, minimising or concealing crime attractors and rewards), and
- Minimise excuse-making opportunities (removing conditions that encourage/facilitate rationalisation of inappropriate behaviour).

CPTED employs a number of key principles such as surveillance, access control, territorial reinforcement and space/activity management.

It is strongly suggested that the developer consider implementing these points in an effort to improve the safety and security for occupiers and their property.

## A – Conditions to be met prior to the issue of Construction Certificate

1. Surveillance IP Cameras with a minimum of 1.3 megapixels are to be installed and operable 24 hours a day with images being kept for a minimum of 30 Days for viewing by police as required. Cameras should be placed in the following areas to maximise security; Foyer entry/exits, driveway entry and letterbox area.
2. The camera facing the driveway entry/exit should be an Automated Number Plate Recognition camera. This is to be installed and operable prior to the issue of an Occupational Certificate.
3. Cameras are to be registered with the NSW Police Force CCTV Register. [http://www.police.nsw.gov.au/cctv\\_register](http://www.police.nsw.gov.au/cctv_register)
4. Install bright sensor lights around the building to provide adequate illumination of all areas around the building where residents and visitors might have access to.
5. Affix signage on the internal and external walls to reinforce security and deter unauthorised access and trespassing.
6. Ensure vehicle and pedestrian access to any parking area is controlled by key or key card access only.
7. Provide Ashfield Police with a copy of a key or key card, to assist General Duties Police Officers with entry onto common areas in case of emergencies.
8. Basement car park walls are to be painted in White to increase lux levels and light reflection, aiding in illumination of the area.
9. Install bicycle storage lockers that will prevent access to any part of the bicycle.
10. The site is to be treated with anti-graffiti paint to a height level which is usually accessible in order to deter graffiti offenders targeting the building and its perimeter.
11. Vegetation surrounding the building should be trimmed to prevent hiding spots for offenders, reducing the risk of personal violence offences as well as property offences.
12. A Key Holder should be appointed with keys to all common areas and be contactable 24 hours a day, 7 days a week if the manager is on holidays or absent for a specified period of time.
13. Emergency exit signs are clearly marked.
14. Windows are to be fitted with child proof windows and flyscreens.
15. All access points to the building should be restricted to residents only through a security system. Visitors to the residential complex should be provided with access via the intercom.
16. Secured letter boxes are to be installed which can only be accessed from a secure foyer area. (see Figure 1.)



## B – Conditions to be met prior to issue of any Occupation Certificate

17. Nil

## C – Advisory Note

18. It is recommended that ALL 3-bedroom apartments be allocated two parking spots. To reduce traffic congestion on Victoria Street and side streets.
19. It is recommended that ALL 2-bedroom apartments be allocated two parking spots. To reduce traffic congestion on Victoria Street and side streets.
20. It is recommended that ALL 1-bedroom apartments be allocated one parking spot. To reduce traffic congestion on Victoria Street and side streets.

Figure 1. Secure letter boxes which can only be accessed from a secure area i.e. inside the building.

### Disclaimer:

In conclusion the New South Wales Police Force has a vital interest in ensuring the safety of the members of the community and the security of their property. By using the recommendations contained in this assessment, any person acknowledges that;

- It is not possible to make areas assessed by the NSWPF absolutely safe for members of the community or the security of their property.
- It is based upon information provided to the NSWPF at the time the assessment was undertaken.
- This assessment is a confidential document and is for the use by the organisation referred to on page one only.
- The contents of this assessment are not to be copied or circulated otherwise than for the purposes of the organisation referred to on page one.

The NSW Police Force hopes that by using the treatments recommended in this assessment, criminal activity will be reduced and the safety of members of the community and the security of their property increased. However it does not guarantee that all risks have been identified, or that the area assessed will be free from criminal activity if these treatments are followed.

Should you have any questions in relation to this report contact Constable Lisa Latu Crime Prevention Officer, Ashfield Local Area Command, Phone 02 9797 4099. Attached to this response are Generic Treatment Options in Appendix A, according to the principles of Crime Prevention Through Environmental Design (CPTED) and are worth considering.

Yours in crime prevention,

Lisa Latu  
Constable  
Crime Prevention Officer

## Appendix A: Generic Treatment Options

This following treatment options have been recommended to reduce opportunities for crime for the business.

### Business Identification

#### Recommendations:

- The street number must be prominently displayed at the front of your business to comply with the Local Government Act, 1993 Section 124 (8).
- Failure to comply with any such order is an offence under Section 628 of the Act.
- Offences committed under Section 628 of the Act attract a maximum penalty of 50 penalty units (currently \$5500) for an individual and 100 penalty units (currently \$11000) for a corporation.
- The number should be in contrasting colours to building materials and be a minimum height of 120 mm.
- The business name should also be prominently displayed at the front of the business to assist in the identification of the premises.
- For businesses with rear access consideration should be given to having the business name displayed to assist in the identification of the business.

### Signage

#### Recommendations:

- Warning signs should be strategically posted around the business to warn intruders of what security treatments have been implemented to reduce opportunities for crime.
- Warning, trespasser will be prosecuted. Warning, No large amounts of money kept on premises. Warning, These premises are under electronic surveillance.
- Directional signage should be posted at decision making points (eg. Entry/egress points) to provide guidance to visitors. This can also assist in access control and reduce excuse making opportunities by intruders.
- Height markers should be posted on entry/egress doors to assist in the assessing the height of offenders.

### Landscaping

#### Recommendations:

- Trees & shrubs should be trimmed to reduce concealment opportunities and increase visibility to and from the business.
- Landscaping needs to be maintained on a regular basis to reduce concealment opportunities.
- Remove obstacles & rubbish from property boundaries, footpaths, driveways, car parks & buildings to restrict concealment & prevent offenders scaling your building.
- A zone of at least 1.5 metres in width on either side of a fence line should be kept free of vegetation to increase surveillance and restrict un-authorised by scaling fences.

### Fences & Gates

#### Recommendations:

- Fences should be installed around the perimeter of the business to clearly define the property boundaries and restrict access to the property.
- Optically permeable (open design) should be considered to increase surveillance and reduce concealment opportunities.
- Fences and gates should be maintained in good condition and should be checked regularly to assist with the protection of your property.
- Gates of similar construction to the fence should be installed to control access to and from the property.
- Gates should be secured with quality locks which comply with the Australian Standards, Lock Sets, AS:4145 to restrict access.

## Lighting

### Recommendations:

- Lighting which complies with the Australian Standard should be installed in and around the business to increase surveillance opportunities during the hours of darkness.
- The emphasis should be on installing low glare/high uniformity lighting levels over all areas.
- The objective of lighting is to deny criminals the advantage of being able to operate unobserved however, if an area cannot be overlooked or viewed AT NIGHT, then lighting will only help a criminal see what they are doing, not deter them.
- The luminaires (light covers) should be designed to reduce opportunities for malicious damage (vandalism).
- Lighting needs to be checked on a regular basis to ensure that it is operating effectively.
- Lighting sources should be compatible with requirements of any surveillance system installed.
- A limited amount of internal lighting should be left on at night to enable patrolling police, security guards or passing people to monitor activities within the business.

## Design

### Recommendations:

- The building should be of solid construction and designed to clearly define the boundaries and control access to and from the business.
- The building should also be designed to maximise surveillance opportunities to and from the business and street.
- Limit the number of entry/egress points to the building.
- Fixed or removable bollards or barriers (e.g. garden beds) may be installed around the property to reduce the opportunities for vehicle ram raids attacks.
- The roof area should be re-enforced to restrict un-authorized access via this area.
- The under floor area should be re-enforced to restrict un-authorized access via this area.
- The counter should be designed to reduce the opportunity for assaults upon staff and unauthorized public access behind counters. Consideration should be given to the width, height and location of the counter.
- Partitions fitted with doors should be installed to restrict access behind the counter areas.
- Shelving within the business should be limited in height, or transparent, to increase natural visibility of the premises. Shelves should be positioned to maximise supervision from counter areas.
- Plant room area should be secured to restrict un-authorized access and tampering with equipment and comply with the Work, Health & Safety Act.
- The power board should be housed within a cupboard or metal cabinet and secured with an approved electricity authority lock to restrict un-authorized tampering with the power supply.
- The letterbox should be secured with quality lock sets to restrict unlawful access to your mail.

## Doors

### Recommendations:

- The doors and door-frames to these premises should be of solid construction.
- These doors should be fitted with locks which comply with the *Australian Standard – Mechanical Locksets for doors in buildings, AS:4145:1993* <http://www.standards.org.au> to restrict unauthorised access and the Building Code of Australia (fire regulations).
- This standard specifies the general design criteria, performance requirements, and procedures for testing mechanical lock sets and latch sets for their resistance to forced entry and efficiency under conditions of light to heavy usage.
- The standard covers lock sets for typical doorways, such as wooden, glass or metal hinged swinging doors or sliding doors in residential and business premises, including public buildings, warehouses and factories.
- Requirements for both the lock and associated furniture are included. Certain areas may require higher level of locking devices not referred to in this standard. (e.g. locking bars, electronic locking devices, detection devices, alarms).
- There are some doors within the premises which are designated as (fire) exits and must comply with the Building Code of Australia.



- This means that they provide egress to a road or open space, an internal or external stairway, a ramp, a fire isolated passageway, a doorway opening to a road or open space. In a required exit or path of travel to an exit, the unobstructed height throughout must not be less than 2m, except the unobstructed height of any doorway may be reduced to not less than 1980mm and the unobstructed width of each exit or path of travel to an exit, except for doorways must not be less than, 1m. (The width of the fire exit door dictates the width of egress path leading to it).
- The door in the required exit must be readily open-able without a key from the side that faces the person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900mm and 1.2mm from the floor.

## Windows

### Recommendations:

- The windows and window-frames to these premises should be of solid construction.
- These windows should be fitted with locks with comply with the *Australian Standard – Mechanical Locksets for windows in buildings, AS:4145:1993* <http://www.standards.org.au> to restrict unauthorised access.
- This standard specifies the general design criteria, performance requirements, and procedures for testing mechanical lock sets and latch sets for their resistance to forced entry and efficiency under conditions of light to heavy usage.
- The standard covers lock sets for typical windows, such a wooden, glass or metal hinged swinging windows or sliding windows in residential and business premises, including public buildings, warehouses and factories.
- Requirements for both the lock and associated furniture are included. Certain areas may require higher level of locking devices not referred to in this standard. (e.g. locking bars, electronic locking devices, detection devices, alarms).
- Glass within windows can be reinforced by either having a shatter-resistant film adhered internally to the existing glass, or by replacing the existing glass with laminated glass, or by having quality metal security grilles or shutters installed to restrict access.
- Display windows should be covered by no more than 15% of promotional materials to increase surveillance opportunities to and from the business.

## Property Identification

### Recommendations:

- Ensure that you have adequate building and contents insurance to protect your property.
- Record descriptions, model and serial numbers of business equipment for easy identification.
- Your property list, photographs and other documentation should be adequately secured, e.g. safe, safety deposit box. Mark, engrave or etch your property with a traceable number, e.g. ABN (Australian Business Number) for identification.
- Photograph and record the details of unique items to aid in their recovery if stolen.
- For items that cannot be engraved, it is suggested that you mark them with an ultra-violet pen.
- This marking is only visible under an ultra-violet (black) light.
- When you sell your property, place a neat line through your engraving to show that it is no longer valid.
- It is also a good idea to give the person a receipt to prove the sale of the item.

## Telephone

### Recommendations:

- Telephones should be pre-programmed with the emergency number '000' and local Police number 131444 for quick reference by occupants.
- Telephone lines for businesses are being targeted by intruders to prevent the intruder alarm system contacting the security monitoring company or to interfere with the operation of the EPTOS systems. With this in mind telephone lines and boxes should be secured to restrict unlawful tampering with the systems.

## Safe & Strongroom

### Recommendations:

- A safe or strongroom which complies with the *Australian Standard Safes and Strongrooms, AS:3809:1998* <http://www.standards.org.au> should be installed within these premises to provide additional security to money and other valuables.
- This standard sets out the requirements for the classification and performance testing of secure storage units to intrusion resistance and removal. These requirements are based upon the need to ascertain the degree of resistance to differing forms of attack.
- There are five different types of security storage units ranging through from extra high security (strongrooms), high security (safe or strongroom) medium security (safe or strongroom) commercial security (safe or strongroom) or basic security (safe or strongroom).
- The safe should be anchored to the floor to prevent easy removal.
- The safe should also incorporate a drop-chute facility to enable staff to deposit money without having to open it.
- A time delay facility can also be incorporated into the safe to restrict access.
- The safe should be installed in an area away from public view where access is limited.
- The safe should be locked at all times when not in use to restrict access and theft of property.

## Key & Valuable Control

### Recommendations:

- A key control system and register should be established within your business.
- Keys should be tagged simply with a number rather than identifying the location of the lock for which the key operates.
- Duplicate keys should be stored within either a key cabinet or safe to restrict unauthorized access and tampering with keys.
- A Confidential Key Holder form should be provided to local police in order that they can access afterhour's emergency contacts.

## Cash Handling

### Recommendations:

- As your business handles cash, you as a person conducting a business or undertaking (PCBU) must ensure, so far as is reasonably practicable;
- the provision and maintenance of a work environment without risks to health and safety, and
- the provision and maintenance of safe systems of work, and
- the provision of any information, training, instruction or supervision that is necessary to protect all persons from risks to their health and safety arising from work carried out as part of the conduct of the business or undertaking, and
- that the health of workers and the conditions at the workplace are monitored for the purpose of preventing illness or injury of workers arising from the conduct of the business or undertaking.
- As your business deals in cash, cash handling policy and procedures need to be developed to reduce opportunities for crime and ensure that management and staff are aware of their responsibilities in the event of such an event taking place.
- Staff should be trained in cash handling procedures to reduce the opportunities for crime.
- Where possible, limit the amount of cash the business deals with by installing electronic payment systems such as EFTPOS.
- Limit the amount of money carried in the cash drawer at any time (\$200.00 float) Lock cash drawers when not in use, and clear money from the cash drawer on a regular basis, e.g. to a safe.
- Avoid counting cash in view of the public.
- Use a minimum of two staff, or security services, when transferring money to financial institutions, or consider using a reputable security company especially when transferring large amounts of money.
- Avoid wearing uniform or identification when transferring money.
- Don't use conspicuous bank-bags when transferring money, as this can be a clear indication to the thief.

## Intruder Alarm System

### Recommendations:

- A Intruder Alarm System (IAS) which complies with the *Australian Standard – Systems Installed within Clients Premises, AS:2201* <http://www.standards.org.au> should be installed within the premises to enhance the physical security and detect unauthorised entry to the premises.
- This standard specifies the minimum requirements for intruder alarm equipment and installed systems.
- It shall apply to intruder alarm systems in private premises, commercial premises and special installations.
- The Intruder Alarm System (IAS) should be either monitored by a security company.
- Duress facility should be incorporated into the system to enable staff to activate the system manually in the event of an emergency, such as a robbery. **NB Duress devices should only be used when it is safe to do so.**
- The light emitting diodes (LEDs red lights) within the detectors should be deactivated, to avoid offenders being able to test the range of the system.
- The system should be checked and tested on a regular (at least monthly) basis to ensure that it is operating effectively.
- Staff should be trained in the correct use of the system.
- As a number of business premises have had telephone lines cut to prevent alarms being reported to the security monitoring company, a supplementary system such as Global Satellite Mobile (GSM) or Radio Frequency (RF) systems should be used to transmit alarm signal by either mobile telephone or radio frequency.

## Closed Circuit Television System (CCTV)

### Recommendations:

- A Closed Circuit Television System (CCTV) which complies with *Australian Standard – Closed Circuit Television System (CCTV) AS:4806.1.2.3.4*. <http://www.standards.org.au> should be installed within these premises to receive, hold or process data for the identification of people involved in anti-social or criminal behaviour.
- The system is obliged to conform with Federal, State or Territory Privacy and Surveillance Legislation.
- Digital or analogue technology should be used to receive, store and process data.
- This system should consist of surveillance cameras strategically located in and around the premises to provide maximum surveillance coverage of the area, particularly areas which are difficult to supervise.
- A minimum of two cameras should be strategically mounted outside the business to monitor activity around these areas. These cameras should be positioned to watch one another to protect them from tampering.
- One or more cameras should be strategically mounted at entry/egress points to monitor activities around these areas.
- One or more cameras should be strategically mounted at the cashier's area to monitor activities around these areas.
- This equipment should be secured away from public access areas to restrict tampering with the equipment and data.
- Staff to be trained in the operation of the system.

## Work, Health and Safety (Act, 2011)

### Recommendations:

- A Person Conducting a Business or Undertaking (PCBU) must ensure, so far as is reasonably practicable, the health and safety (**Work, Health & Safety, Act, 2011**):
- of workers engaged, or caused to be engaged by the person, and
- of workers whose activities in carrying out work are influenced or directed by the person, while the workers are at work in the business or undertaking.
- of other persons is not put at risk from work carried out as part of the conduct of the business or undertaking.
- A Person Conducting a Business or Undertaking (PCBU) must ensure, so far as is reasonably practicable:

- the provision and maintenance of a work environment without risks to health and safety, and
- the provision and maintenance of safe plant and structures, and
- the provision and maintenance of safe systems of work, and
- the safe use, handling, and storage of plant, structures and substances, and
- the provision of adequate facilities for the welfare at work of workers in carrying out work for the business or undertaking, including ensuring access to those facilities, and
- the provision of any information, training, instruction or supervision that is necessary to protect all persons from risks to their health and safety arising from work carried out as part of the conduct of the business or undertaking, and
- that the health of workers and the conditions at the workplace are monitored for the purpose of preventing illness or injury of workers arising from the conduct of the business or undertaking.

## Business Fire Safety

### Recommendations:

- As the owner of the building you must ensure that an annual fire safety assessment of essential fire safety measures for your building is carried out each year.
- As the owner of the building you must ensure that a Fire Safety Schedule listing essential fire safety measures for your building is displayed near the entrance to your building to comply with the **Environmental Planning and Assessment Act, 1993**.
- As the owner of the building you must ensure that a Fire Statement is displayed near the entrance to your building to comply with the **Environmental Planning and Assessment Act, 1993**.
- As the owner of the building you must ensure that a copy of the Fire Safety Schedule and Fire Safety Statement is provided to your local Council and the Commissioner for Fire & Rescue NSW to comply with the **Environmental Planning and Assessment Act, 1993**.
- Failure to comply with these requirements can result in financial penalties against your building.

## Emergency Planning

### Recommendations:

- **The Person Conducting a Business or Undertaking (PCBU)** must ensure an emergency plan is prepared, maintained and implemented for the workplace by the person conducting a business or undertaking (PCBU – the new term that includes employers).
- The emergency plan must provide:
  - emergency procedures including:
  - an effective response to an emergency,
  - evacuation procedures,
  - notifying emergency service organisations promptly,
  - medical treatment and assistance,
  - effective communication between the authorised person who coordinates the emergency response and all persons at the workplace.
- testing of the emergency procedures, including the frequency of testing.
- information, training and instruction to relevant workers in relation to implementing the emergency procedures.
- **Australian Standard - Planning for emergencies in facilities, AS:3745**, should be developed and implemented by your organisation.
- This Standard outlines the minimum requirements for the establishment, validation and implementation of an emergency plan for a facility to provide for the safety of occupants of that facility and its visitors leading up to, and during an evacuation.
- It includes the following:
  - (a) The formation, purpose, responsibility and training of the emergency planning committee.
  - (b) Emergency identification.
  - (c) The development of an emergency plan.
  - (d) The development of emergency response procedures.
  - (e) The establishment, authority and training of an emergency control organization.
  - (f) The testing and validation of emergency response procedures.
  - (g) Emergency related training.
- This Standard does not cover facility operational incidents, community disaster management, business continuity, security management or major environmental impacts beyond the facility.



#### NOTES:

- 1 Guidance on planning and response for fire and smoke emergencies is given in Appendix A.
  - 2 Guidance on planning and response for bomb threat is given in Appendix B.
  - 3 Guidance on planning and response for civil disorder and illegal occupancy is given in Appendix C.
  - 4 The information and guidance in Appendices A, B and C is not comprehensive enough to adequately plan for fire and smoke emergencies, bomb threat, and civil disorder and illegal occupancy.
- This Standard applies to buildings, structures or workplaces occupied by people, with the exception of Class 1a buildings as defined in the Building Code of Australia, unless that dwelling is also used as a workplace.
  - This Standard does not attempt to over-ride legislative obligations in providing for the safety of occupants and visitors in facilities.
  - It does, however, provide guidance for the planning and implementation of effective emergency planning committee (EPC) and emergency control organization (ECO) procedures, covering emergency situations up until the appropriate Emergency Service arrives to manage the situation, at which time, the ECO shall work in conjunction with that service.
  - The emergencies referred to in this Standard do not exclusively represent the likely range of emergencies that may occur in a facility. The range of specific emergencies shall be identified for each facility.
  - Further information in relation to planning for emergencies can be obtained from Emergency NSW <http://www.emergency.nsw.gov.au> or Emergency Management Australia (EMA).
  - **Factors to consider when preparing an emergency plan**
  - When preparing and maintaining an emergency plan, the PCBU must consider all relevant matters including:
    - the nature of the work being carried out at the workplace,
    - the nature of the hazards at the workplace,
    - the size and location of the workplace,
    - the number and composition of the workers and other persons at the workplace.
  - The code of practice *Managing the work environment and facilities* provides more information about preparing and maintaining an emergency plan.
  - Call Workcover NSW 13 10 50 or check out Workcover NSW website: [www.workcover.nsw.gov.au](http://www.workcover.nsw.gov.au) for more information about emergency plans.

## General Security

### Recommendations:

- Some businesses may require on-site security to enhance physical security.
- Security services which comply with the **Australian Standard - Guard and patrol security services, AS/NZS 4421**, should be used to provide surveillance, access control and monitor security in and around the business.
- This Standard specifies the minimum requirements for the operation and management organization providing protective security services. Appendix A specifies for custodial and escort officers.

NOTE: The term 'organization' is defined in Clause 1.3.

This Standard does not cover the full function, responsibilities or scope of Cash in Transit (CIT) operations. For this refer to current legislation and codes of practice.
- Sensitive materials, including confidential records, should be appropriately destroyed or secured, e.g. confidential records should be shredded or disposed of through security destruction services.
- Computer passwords should be changed regularly to restrict access and avoid misuse by past and present staff.

